



Special Sub Committee of the Planning and Transportation Committee

PRESENTATION

Date: THURSDAY, 22 APRIL 2021

Time: 12.30 pm

Venue: VIRTUAL PUBLIC MEETING – ACCESSIBLE REMOTELY

3. **LAND BOUNDED BY FLEET STREET, SALISBURY COURT, SALISBURY
SQUARE, PRIMROSE HILL & WHITEFRIARS STREET, LONDON, EC4Y**
Report of the Interim Chief Planning Officer and Development Director.

For Decision
(Pages 1 - 184)

John Barradell
Town Clerk and Chief Executive

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The Salisbury Square Development

Planning and Transport Committee Presentation

22 April 2021



Rolls Building

Old Bailey

St Pauls

Royal Courts of Justice

The Temple

Site

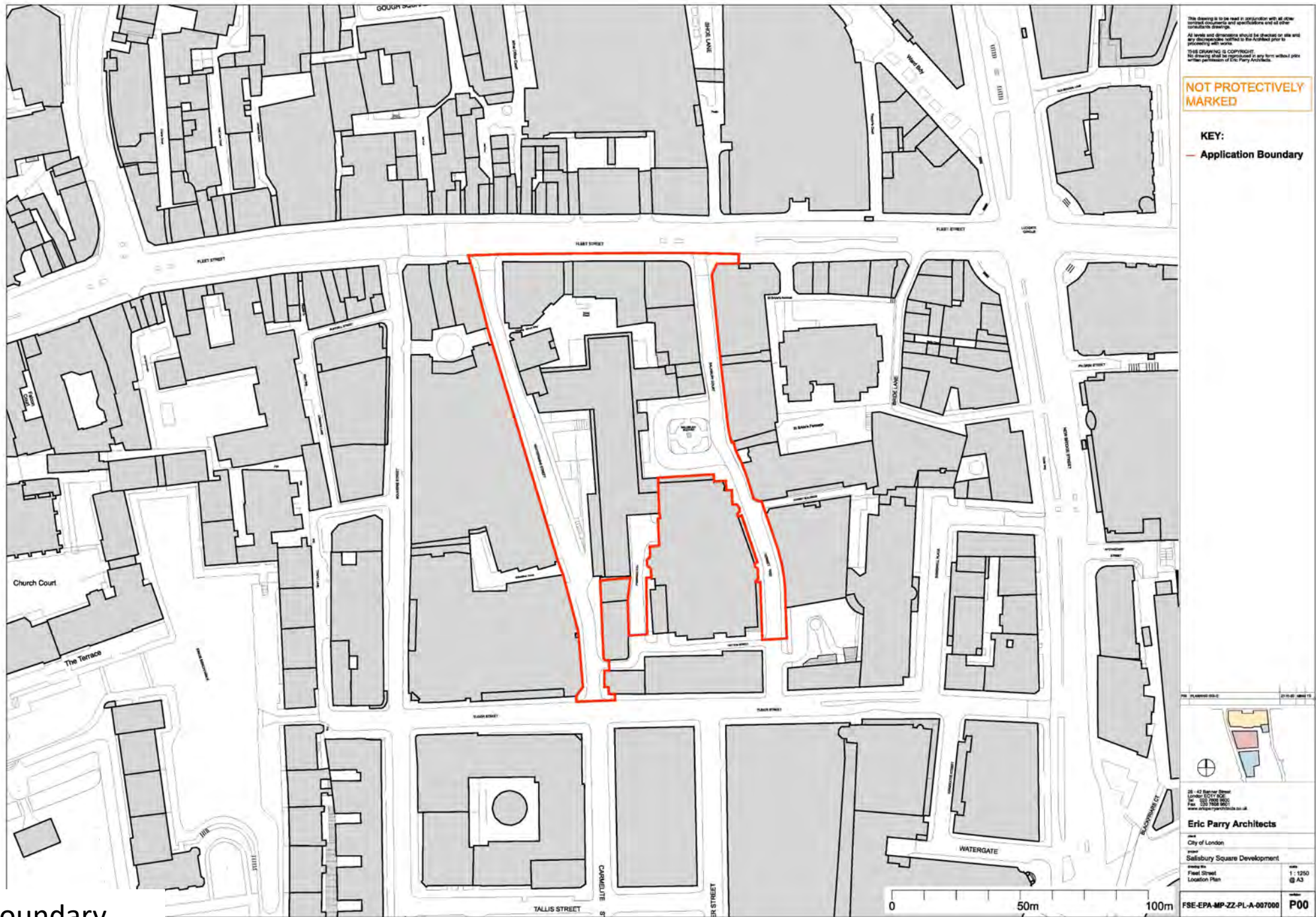
100m

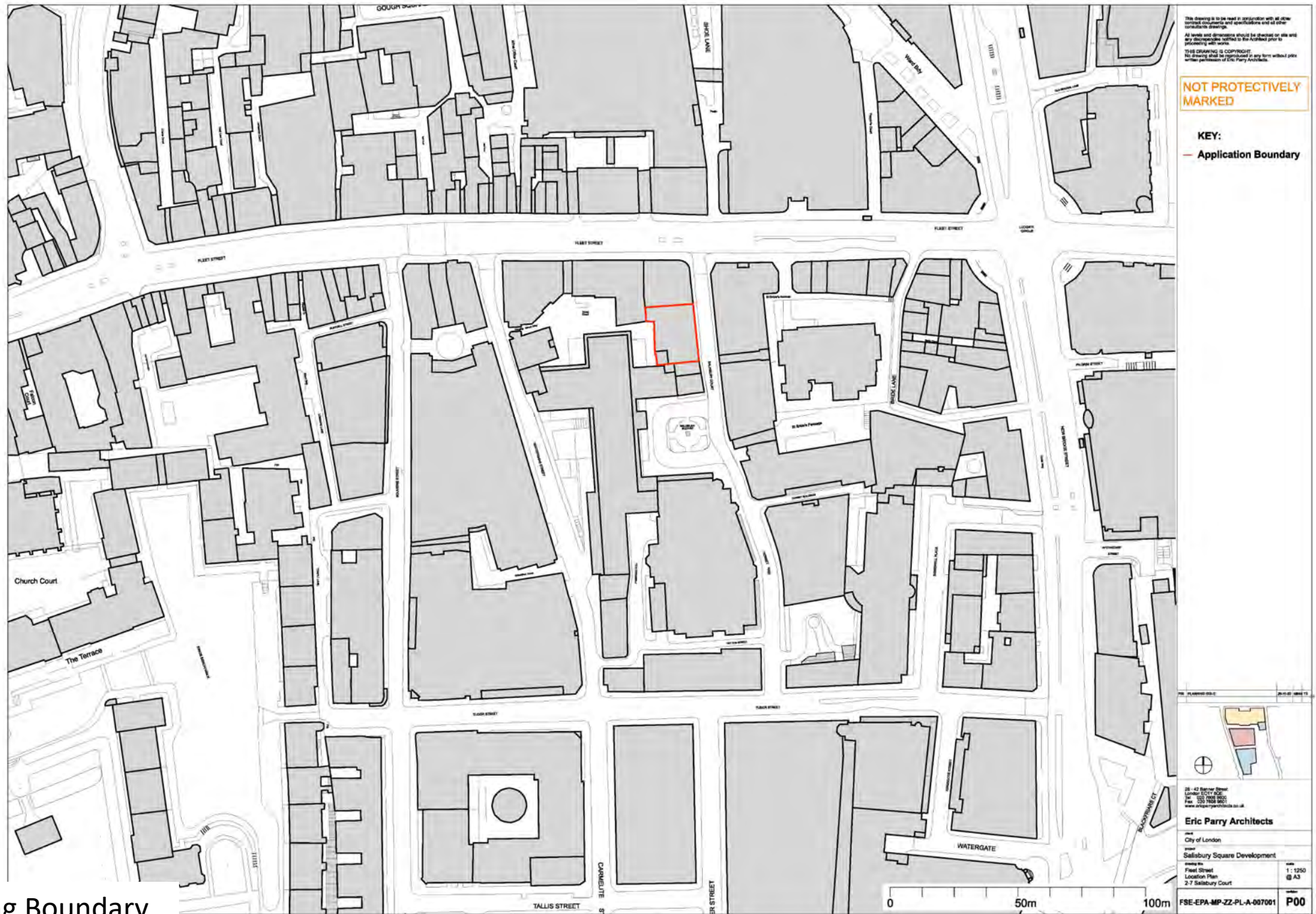
200m

300m

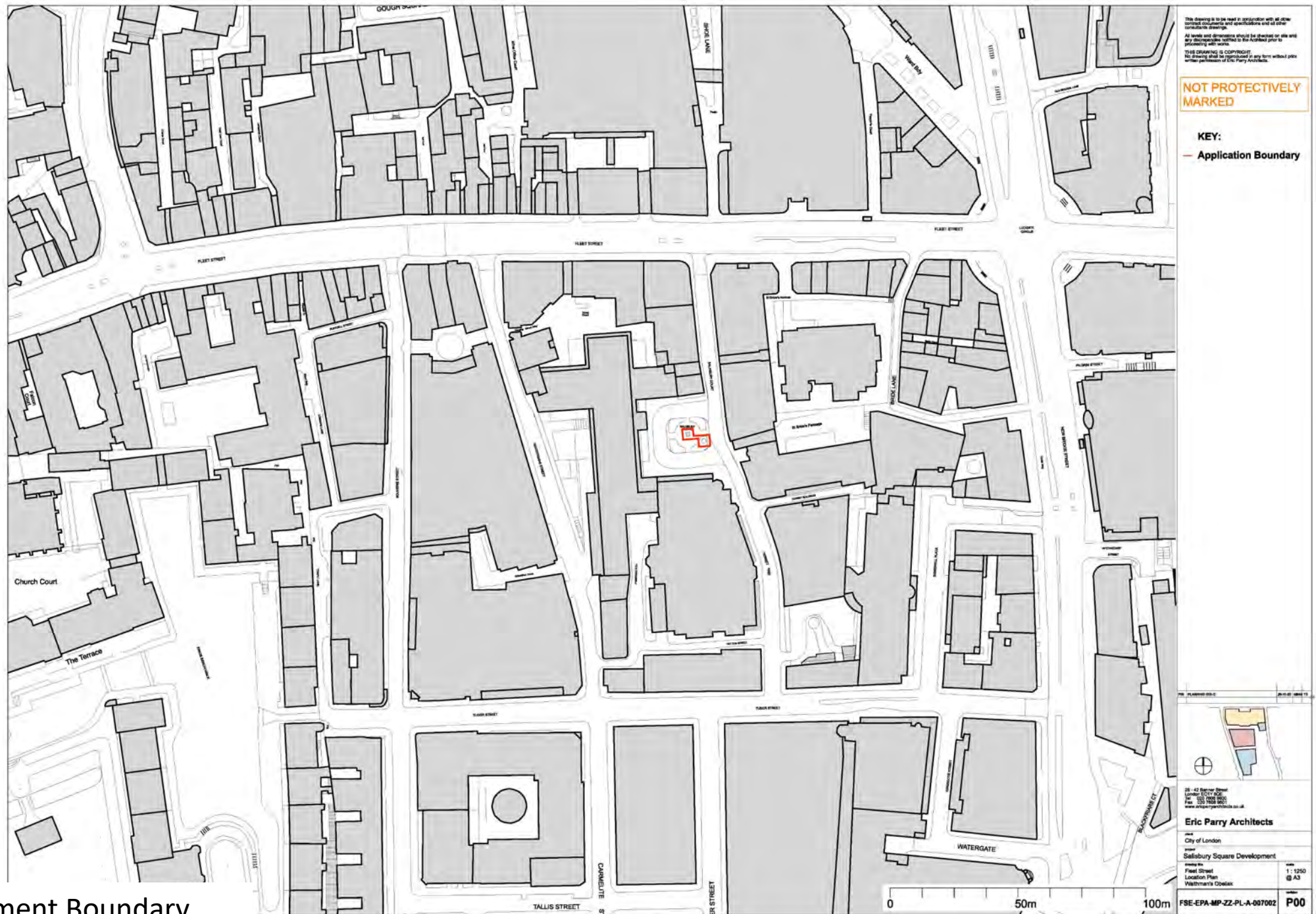
400m

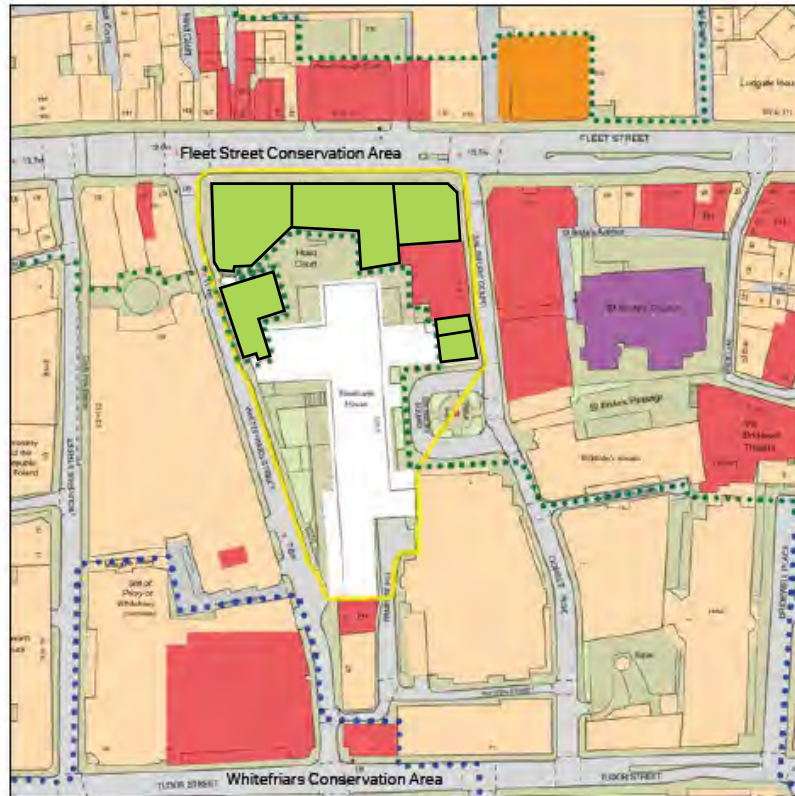
500m



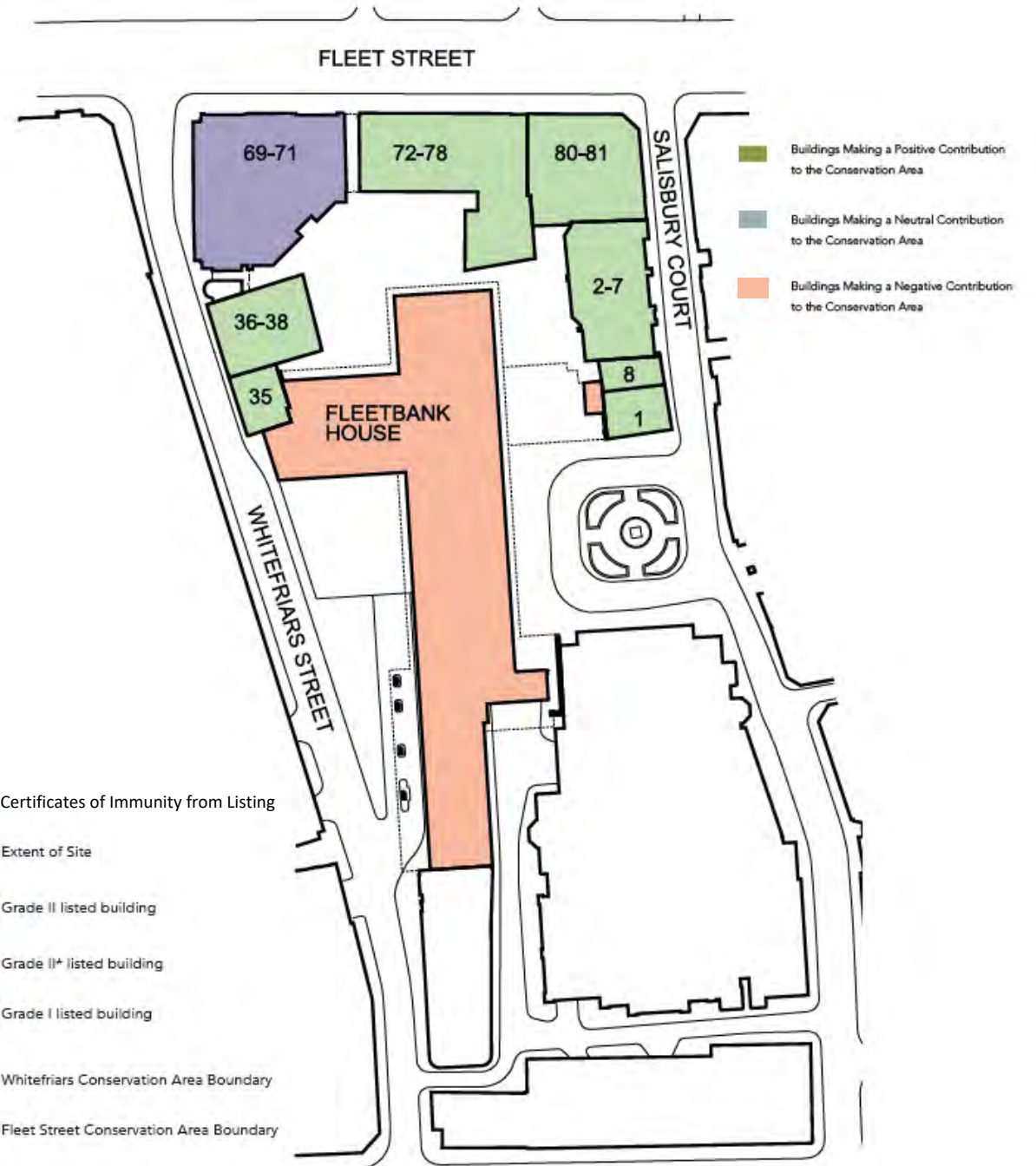


Listed Building Boundary

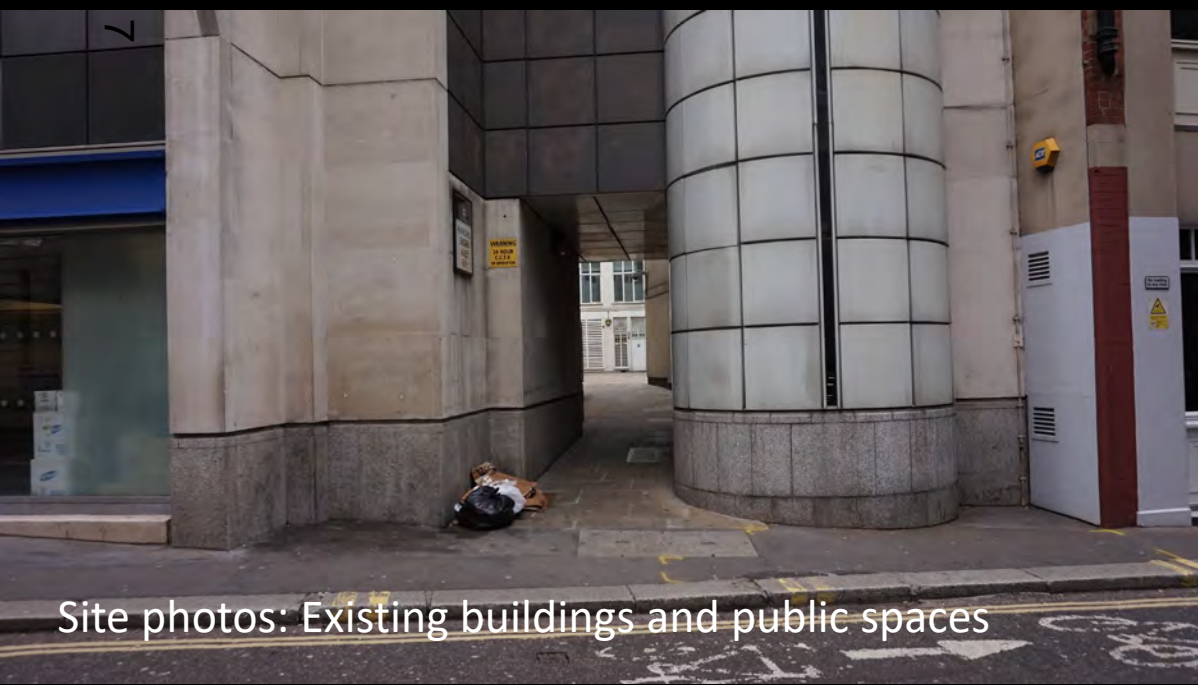




- Certificates of Immunity from Listing
- Extent of Site
- Grade II listed building
- Grade II* listed building
- Grade I listed building
- Whitefriars Conservation Area Boundary
- Fleet Street Conservation Area Boundary



Existing Buildings on the Site



Site photos: Existing buildings and public spaces





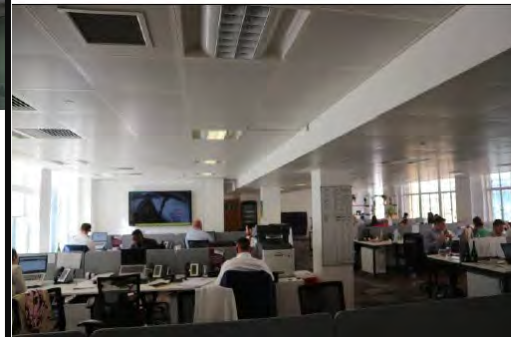
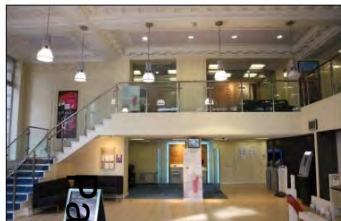
Site photos: Existing Fleetbank House Whitefriars Street



Heritage context and proposed demolition

	Fleet Street Conservation Area		Grade I Listed Buildings
	Whitefriars Conservation Area		Grade II Listed Buildings
	Site boundary		Grade II* Listed Buildings
	2-7 Salisbury Court		Walthman's Obelisk

Buildings in the Conservation Area



72-78 Fleet Street (Chronicle House)

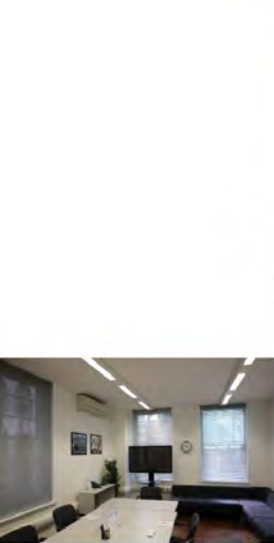
- 1920s office building by **Hebert, Ellis & Clarke**.
- Others buildings by the practice include Northcliffe House (1925-6, Grade II) and The Daily Express Building (1932, Grade II*).
- Speculative-built commercial building: in 1926 there were 38 companies using the offices, mostly small newspaper companies relating to South Africa, and there were also the advertising offices for the Daily Chronicle.

69-71 Fleet Street

- 1986 building by Thomas Saunders Partnership, specialised in commercial architecture.
- Retail at ground floor, offices above with an open plan to suit the need of tenants.
- Designed in Post-Modern style, common at that time.

80-81 Fleet Street

- 1920s bank building by C. J. Dawson, Son & Allardyce.
- It replaced the front portion of the adjacent Grade II-listed building (2-7 Salisbury Court).



1 Salisbury Square

- Originally an 18th century house.
- It was rebuilt in the 1960s by Treharne & Norman, Preston & Partners following structural damage during WWII.
- Planning correspondence suggest that the building had been listed, but was delisted after the 1960s rebuild.

8 Salisbury Court

- Late-19th or early-20th century warehouse building.
- Now in use as offices, with a ground-floor cafe.

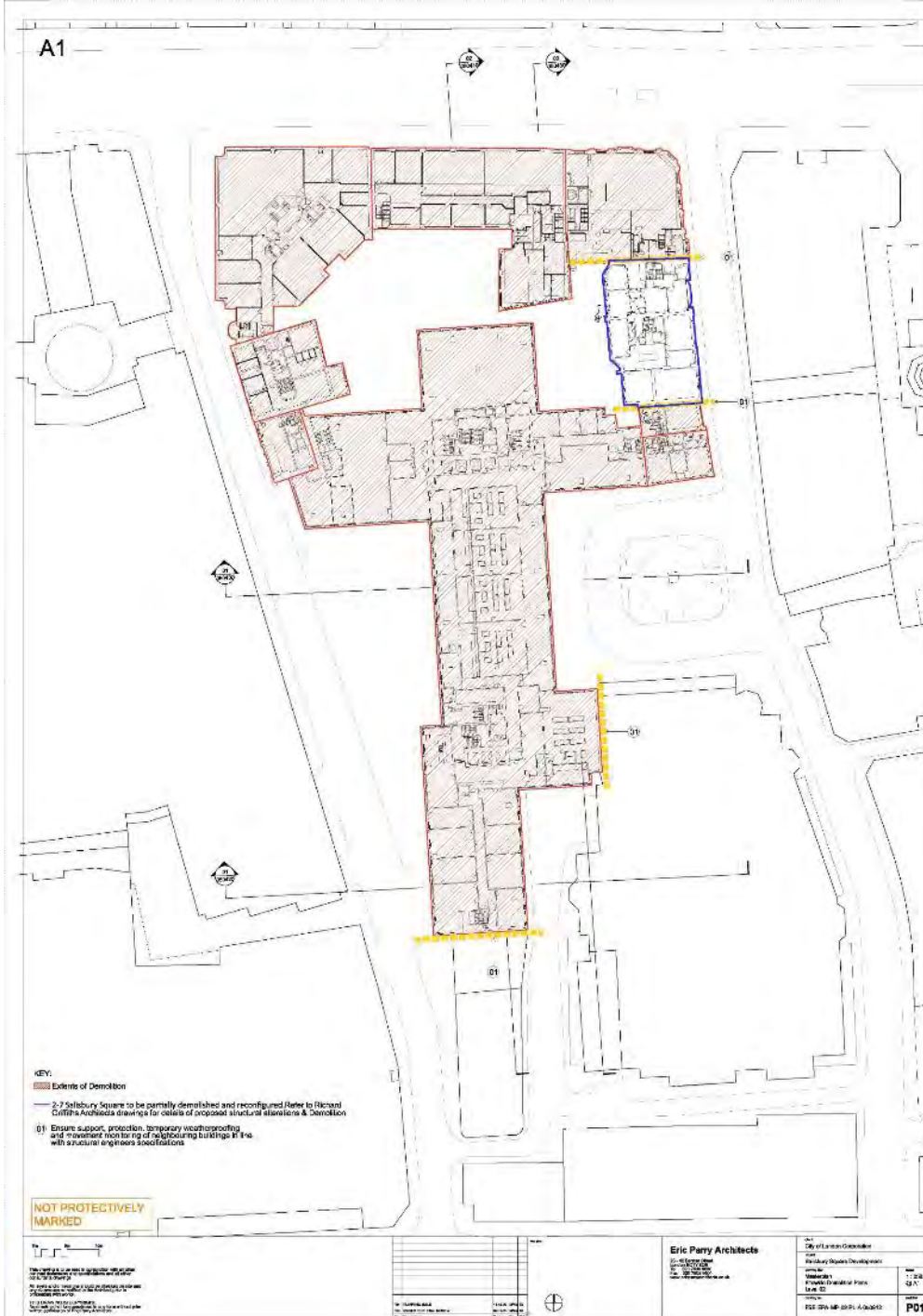
36-38 Whitefriars Street

- Early 20th century (completed by the 1915 OS map).
- Attributed to the architectural practice of Green Lloyd and Son, but no evidence of this has been found.
- Designed for offices and light industry, with a ground-floor shop, and now fully in office use today.

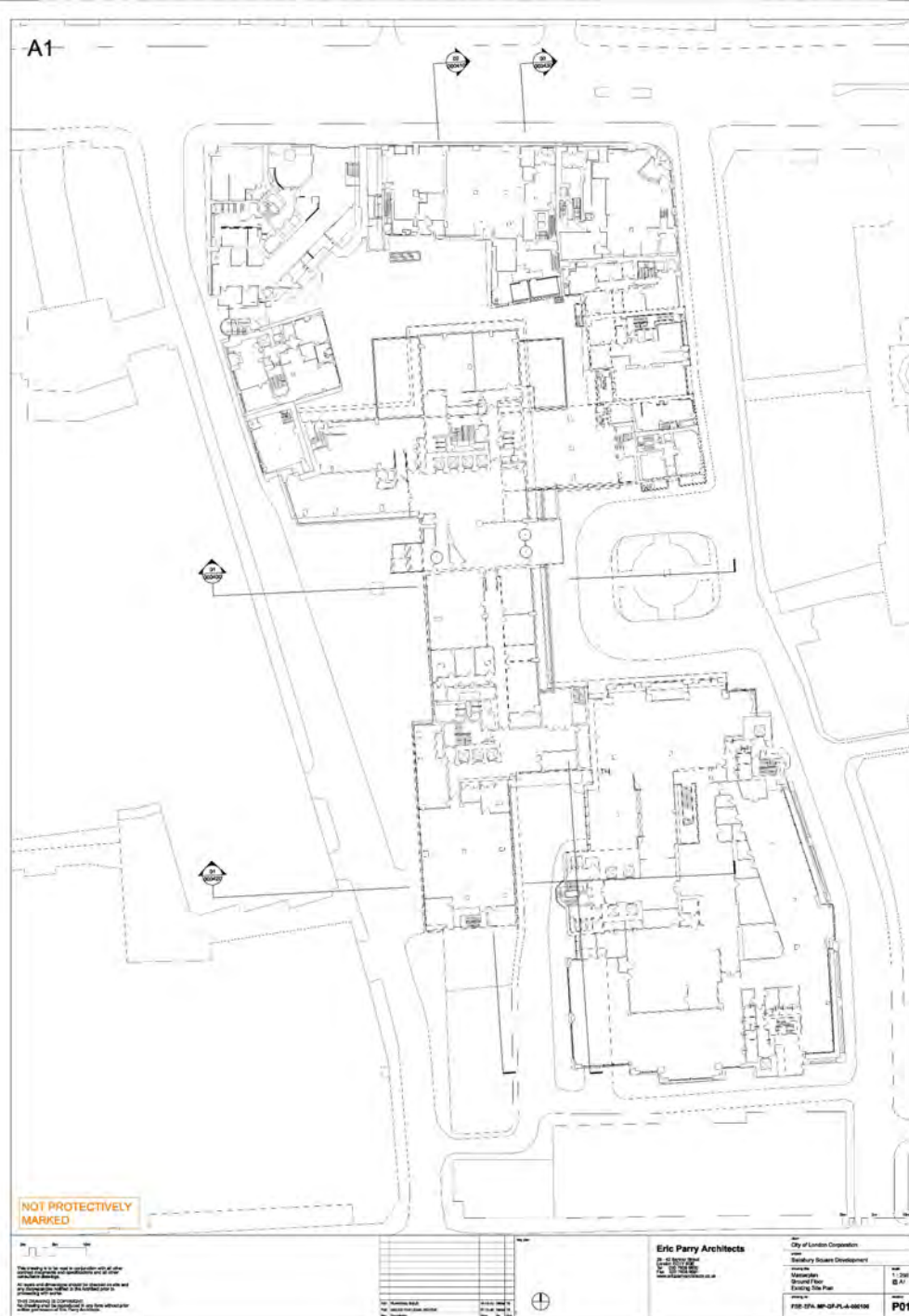
35 Whitefriars Street

- 1897-8 the Hack and Hop, formerly The Coach and Horses designed by B. Wilkinson
- Five storey red brick elevation in Queen Anne style.
- No known association to any particular newspaper organisation – unlike other surrounding Grade II listed pubs.
- The rear elevation abutted by Fleetbank House

Buildings proposed to be demolished



The Masterplan





This drawing is to be read in combination with all other control instructions and specifications and all other information on this page.

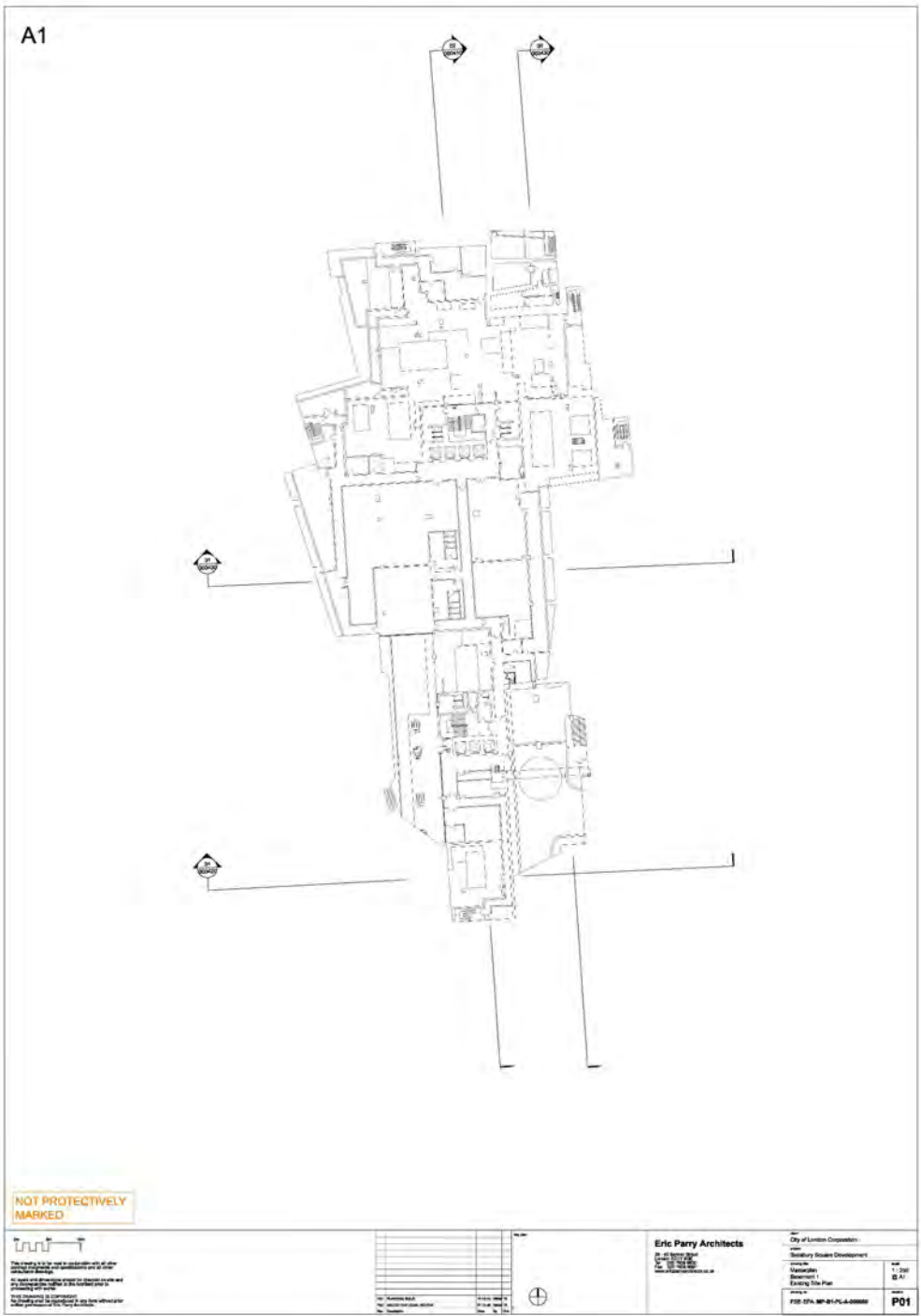
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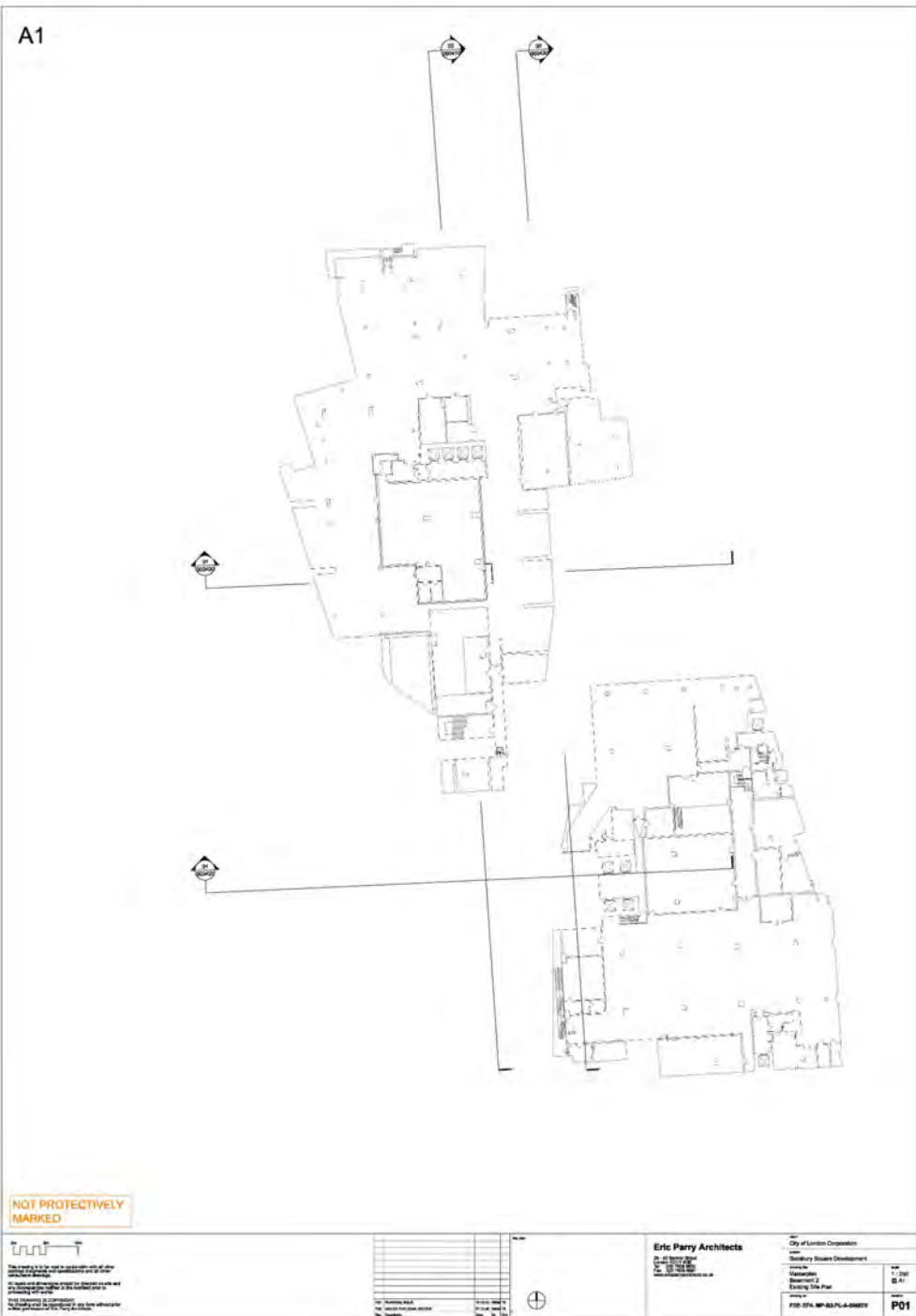
City of London Corporation
Surrey Square Development
Vauxhall
Lower Ground
Existing Site Plan
F02-074 MP-LG-PL-A-000000

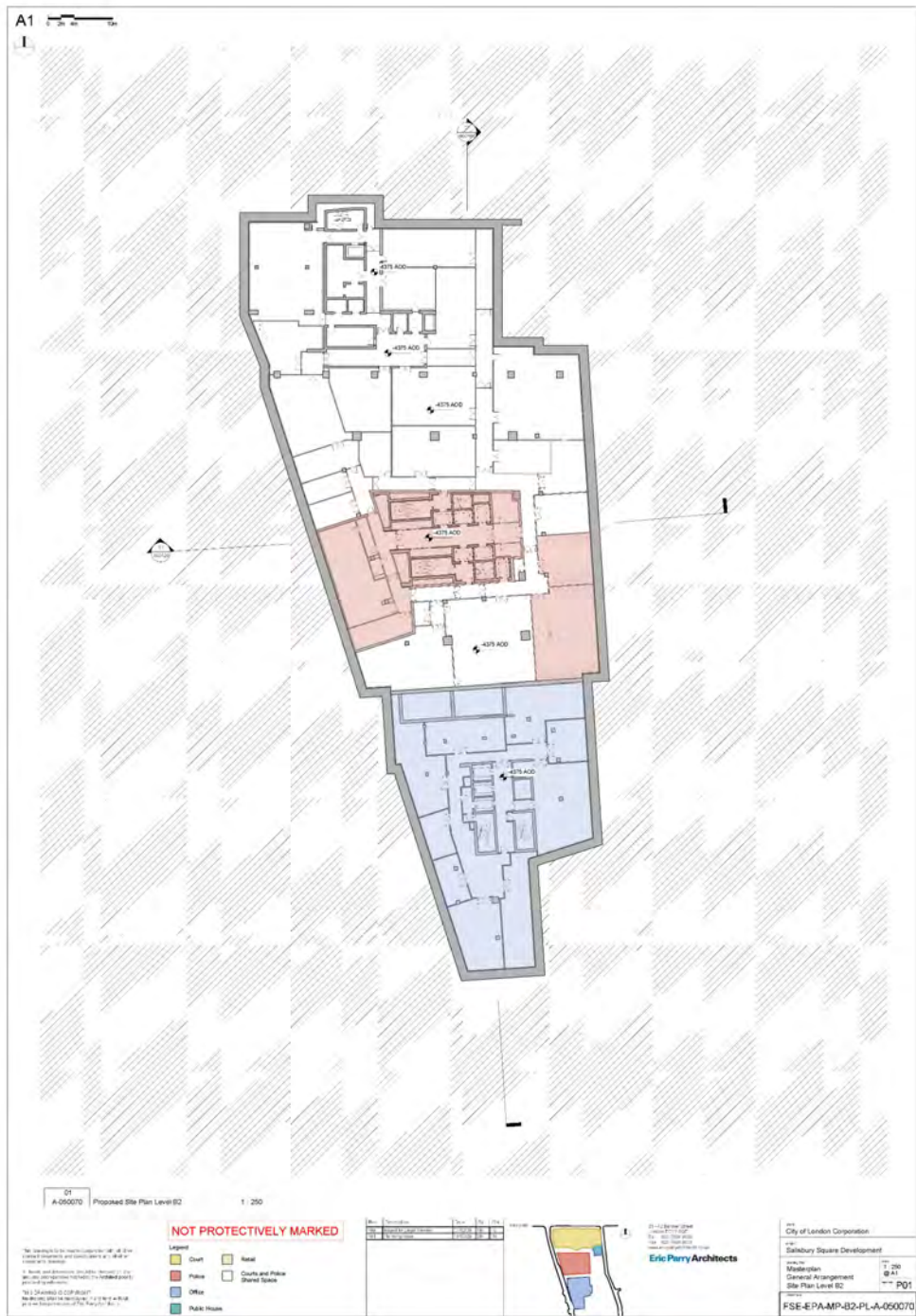
P01











This drawing is to be read in conjunction with all other contract documents and specifications and all other construction drawings.

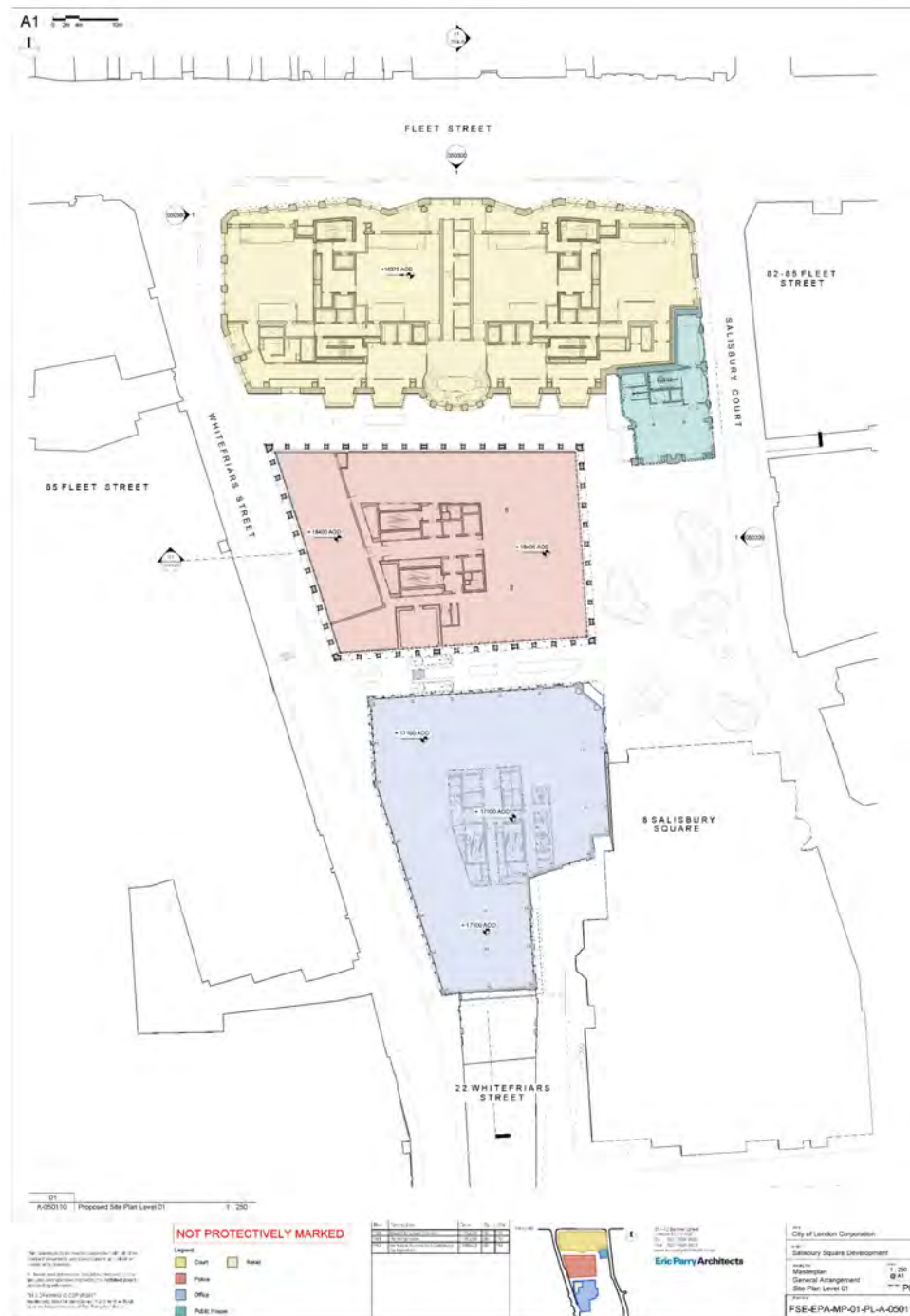
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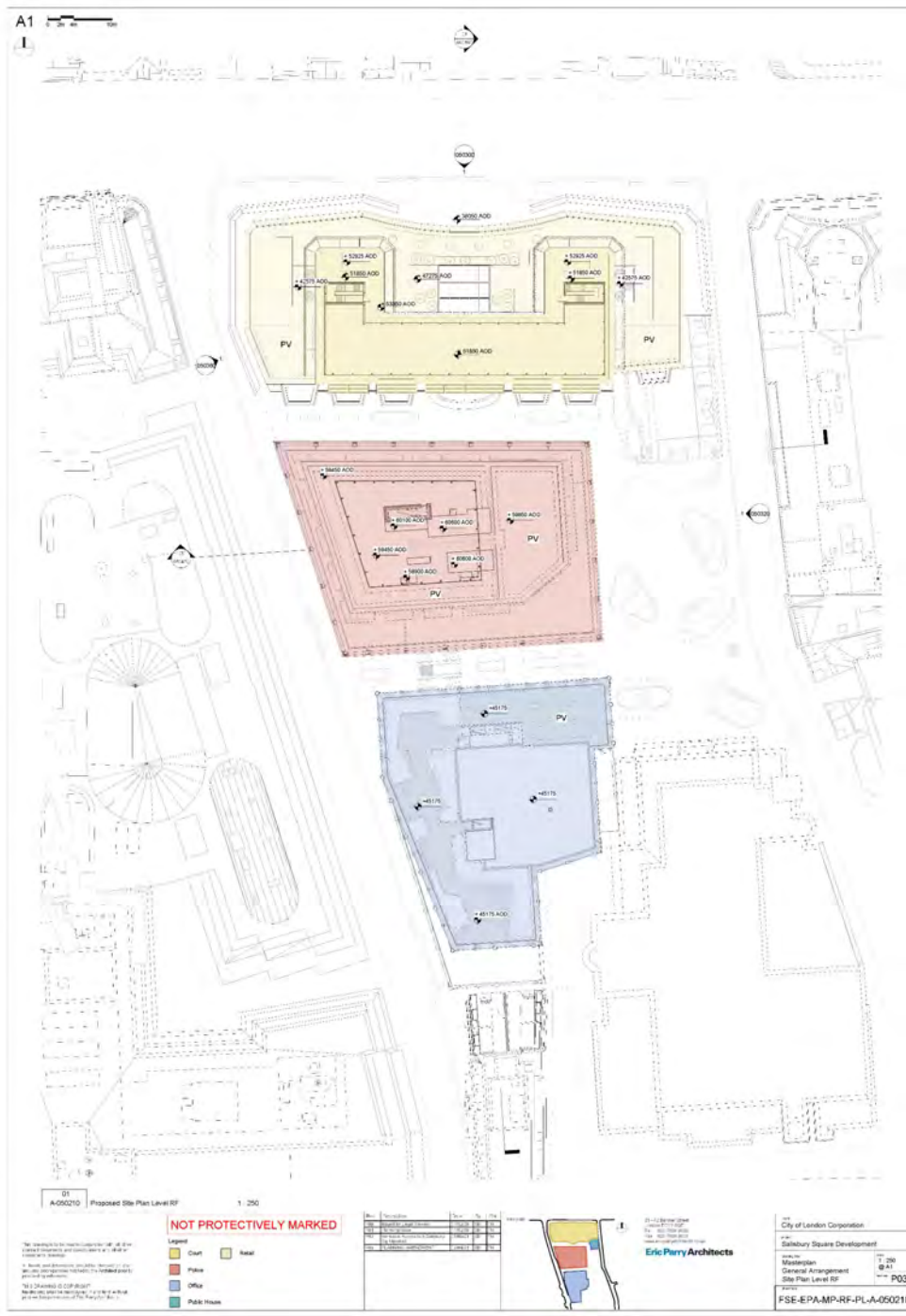
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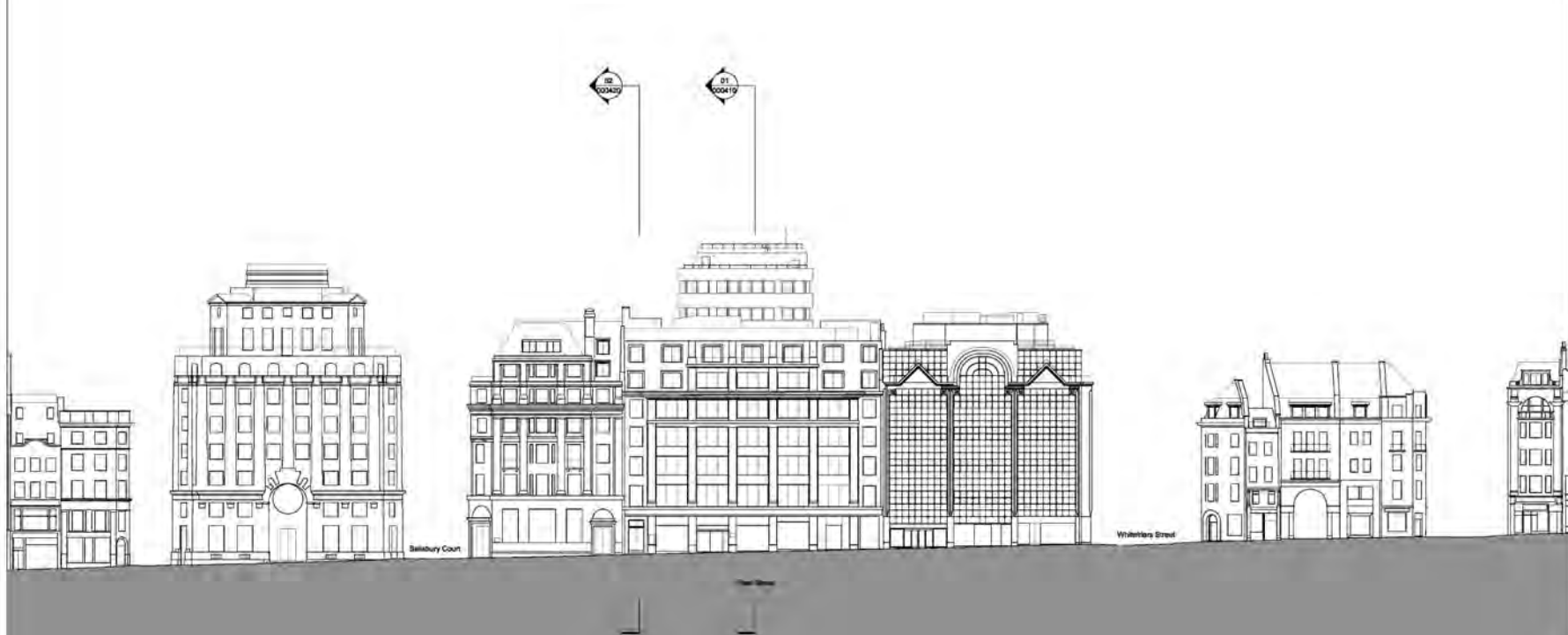
Eric Parry Architects
28 - 42 Barclay Street
London EC1A 9BE
Tel: 020 7463 4999
Fax: 020 7463 4999
E-mail: enquiries@ericparry.com
www.ericparry.com

City of London Corporation Building Square Development Drawing No: Mainframes First Floor Existing Site Plan		Scale: 1:200 A1
Drawing No: F02-07A-MP-01-PL-A-00010		Project: P01





A1



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REV	ARCHITECTURAL NO.	17-03-05
REV	CONSTRUCTION	17-03-05
REV	DATE	17-03-05

Eric Parry Architects	
25-42 Bedford Street London WC1T 2ET Tel: 020 7625 8800 Fax: 020 7625 8801 www.ericparryarchitects.co.uk	
Client: City of London Corporation	
Project: Salisbury Square Development	
Drawing No: Masterplan Site plan Existing North Elevation	Scale: 1:250 A1
Drawing No: FSE EPN MP-ZZ-CL-A-00030	Revision: P01

Existing North Elevation

A1
I



1
A-050300 Context Elevation Fleet Street. 1 : 250

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ISSUED FOR LEGAL REVIEW	27/12/20	250	17N	

No.	Description	Date	By	Chk.
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28 - 47 Renshaw Street
London EC1Y 9QF
Tel: 020 7626 9600
Fax: 020 7626 9601
www.ericparryarchitects.co.uk

Eric Parry Architects

Client
City of London Corporation

Project
Salisbury Square Development

Drawing No.
Masterplan
General Arrangement
Elevation - Fleet Street
Drawing No.
1 : 250
@ A1
P01

FSE-EPA-MP-ZZ-EL-A-050300

A1

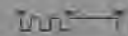


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Rev	ARCHITECTURAL NO.	15-0000
Rev	CONSTRUCTION	15-0000
Rev	DATE	15-0000

Eric Parry Architects	
25-42 Broomfield London EC1A 3JF Tel: 020 7625 8000 Fax: 020 7625 8001 www.ericparryarchitects.co.uk	
Client: City of London Corporation	
Project: Salisbury Square Development	
Drawing the Masterplan Siteplan Existing East Elevation	
Scale: 1:250 A1	Sheet: P01



Existing East Elevation



1
A-050320 Context Elevation Salisbury Court. 1 : 250

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001	PRELIMINARY REVIEW	11/1/20	001	1/1
002	ISSUED FOR LEGAL REVIEW	21/1/20	002	1/1

No.	Description	Date	By	Chk.
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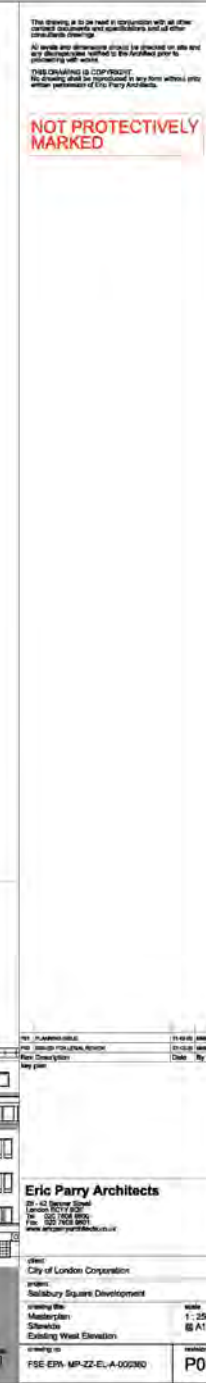
28 - 42 Roper Street
London EC1Y 9SE
Tel: 020 7626 9600
Fax: 020 7626 9601
www.ericparryarchitects.co.uk

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Client
City of London Corporation
Project
Salisbury Square Development

Drawing No.
Masterplan
General Arrangement
Elevation - Salisbury Court
Drawing No.
1 : 250
@ A1
P01

Drawing No.
FSE-EPA-MP-ZZ-EL-A-050320



A1



01
A-050360 Context Elevation Whitefriars St. 1 : 250

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PRE PLANNING APPLICATION	08/04/11	100%	100%
APP PLANNING ISSUE	11/12/11	100%	100%
APP ISSUED FOR LEGAL REVIEW	07/12/11	100%	100%

Rev	Description	Date	By	Chk
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28 - 42 Banner Street
London EC3N 3SE
T: 020 7638 9600
F: 020 7638 9601
www.ericparryarchitects.co.uk

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Client
City of London Corporation
Project
Salisbury Square Development

Issued for
Masterplan
General Arrangement
Elevation - Whitefriars St

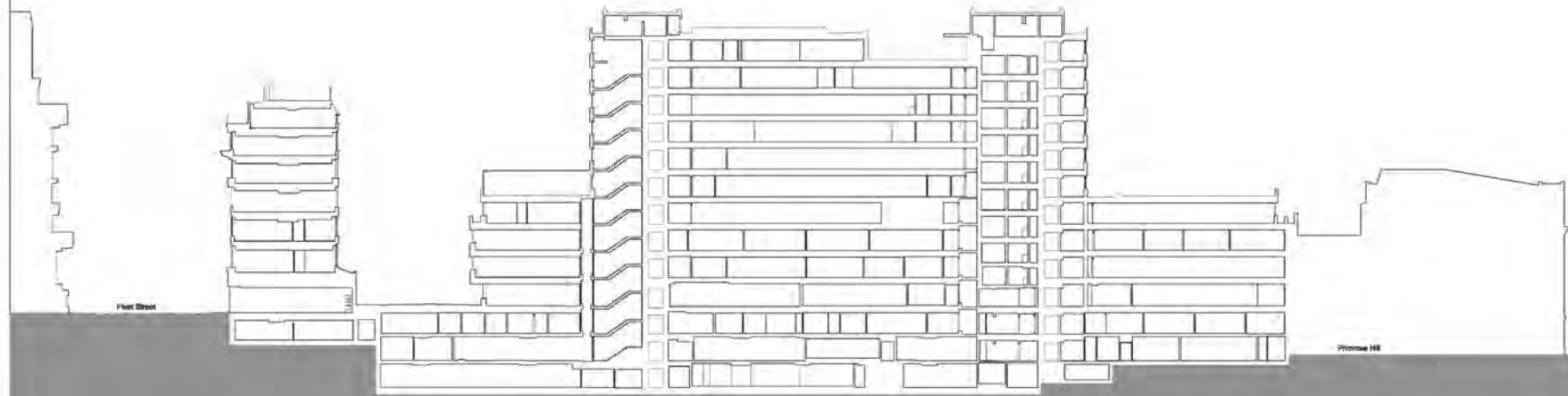
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FSE-EPA-MP-ZZ-EL-A-050360

A1

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Rev	3	11-01-15	11-01-15
Rev	4	11-01-15	11-01-15
Rev	5	11-01-15	11-01-15

Eric Parry Architects

20-21 Broomfield
London EC1A 3JN
Tel: 020 7625 8000
Fax: 020 7625 8001
www.ericparryarchitects.co.uk

Client:
City of London Corporation

Project:
Salisbury Square Development

Drawing the
Masterplan
Salisbury Square
North-South

Drawing No:
FSE-EPN-MP-22-65-A-00410

Scale:
1:250
A1

Project:
P01



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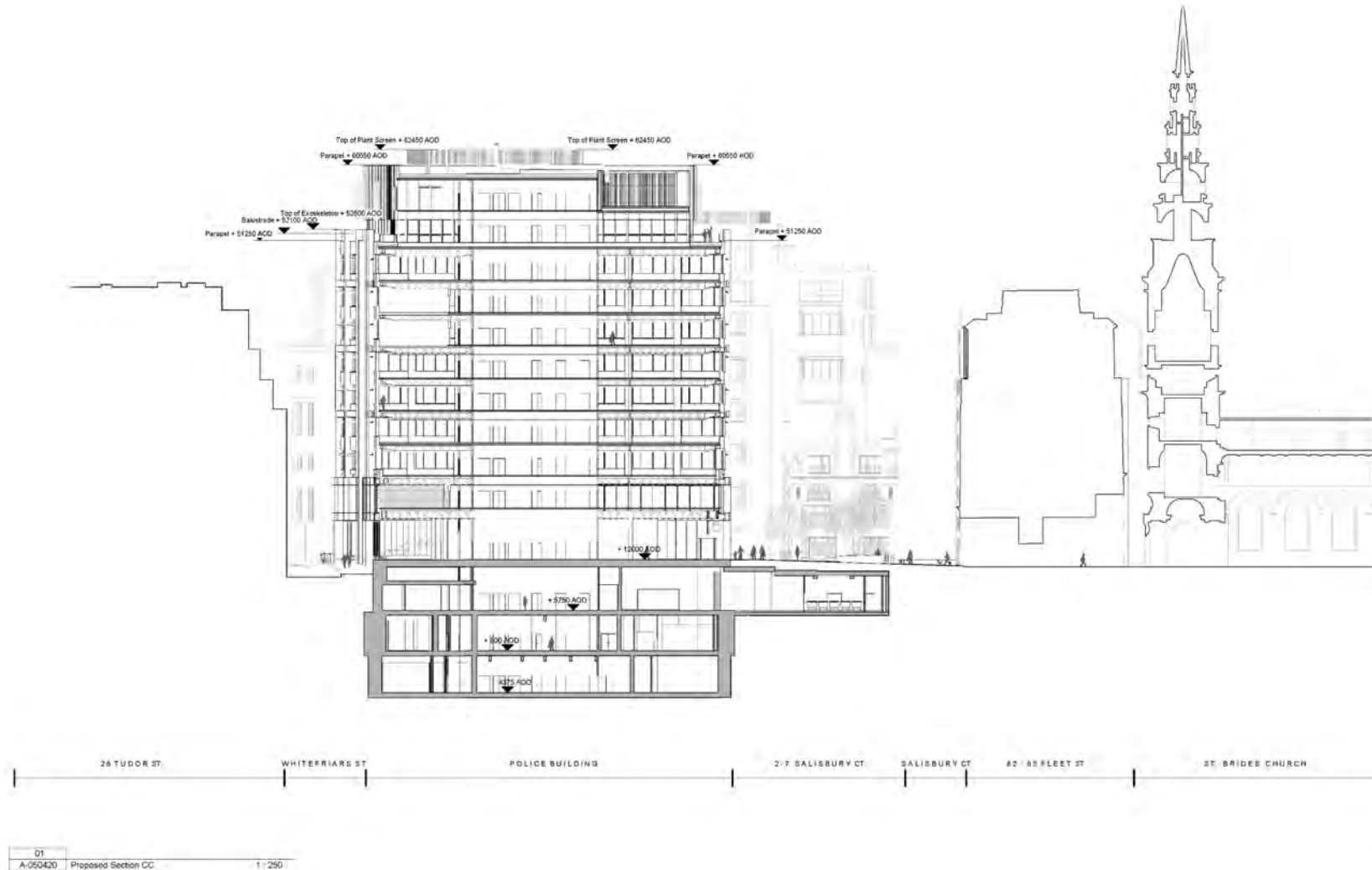


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client
City of London Corporation
project
Salsbury Square Development
drawing title
Masterplan
Sitewide Existing Section
West-East
drawing no
FSE-EPA-MP-ZZ-SE-A-000400

P01



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Project	City of London Corporation	City of London	City of London
Client	City of London Corporation	City of London	City of London
Design	City of London Corporation	City of London	City of London

Design

101-103 Blackhorse Road
London E9 6JH
Tel: 020 7369 4900
Fax: 020 7369 4901
www.ecppartypartners.co.uk

Eric Parry Architects

City of London Corporation
Saffron Square Development
Masterplan
General Arrangement
Section GC

Scale: 1:250
A1
P01

FSE-EPA-MP-ZZ-SE-A-050420

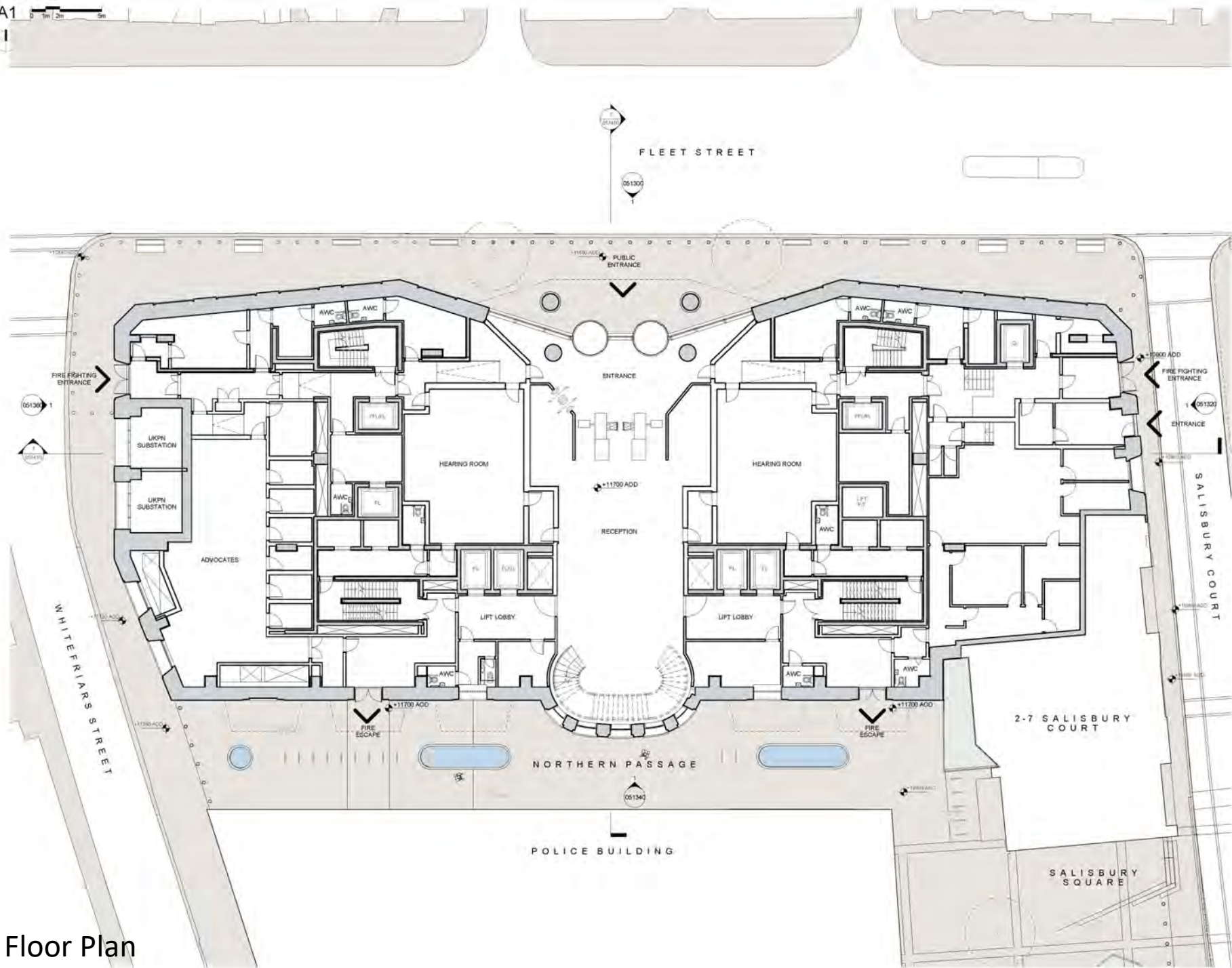


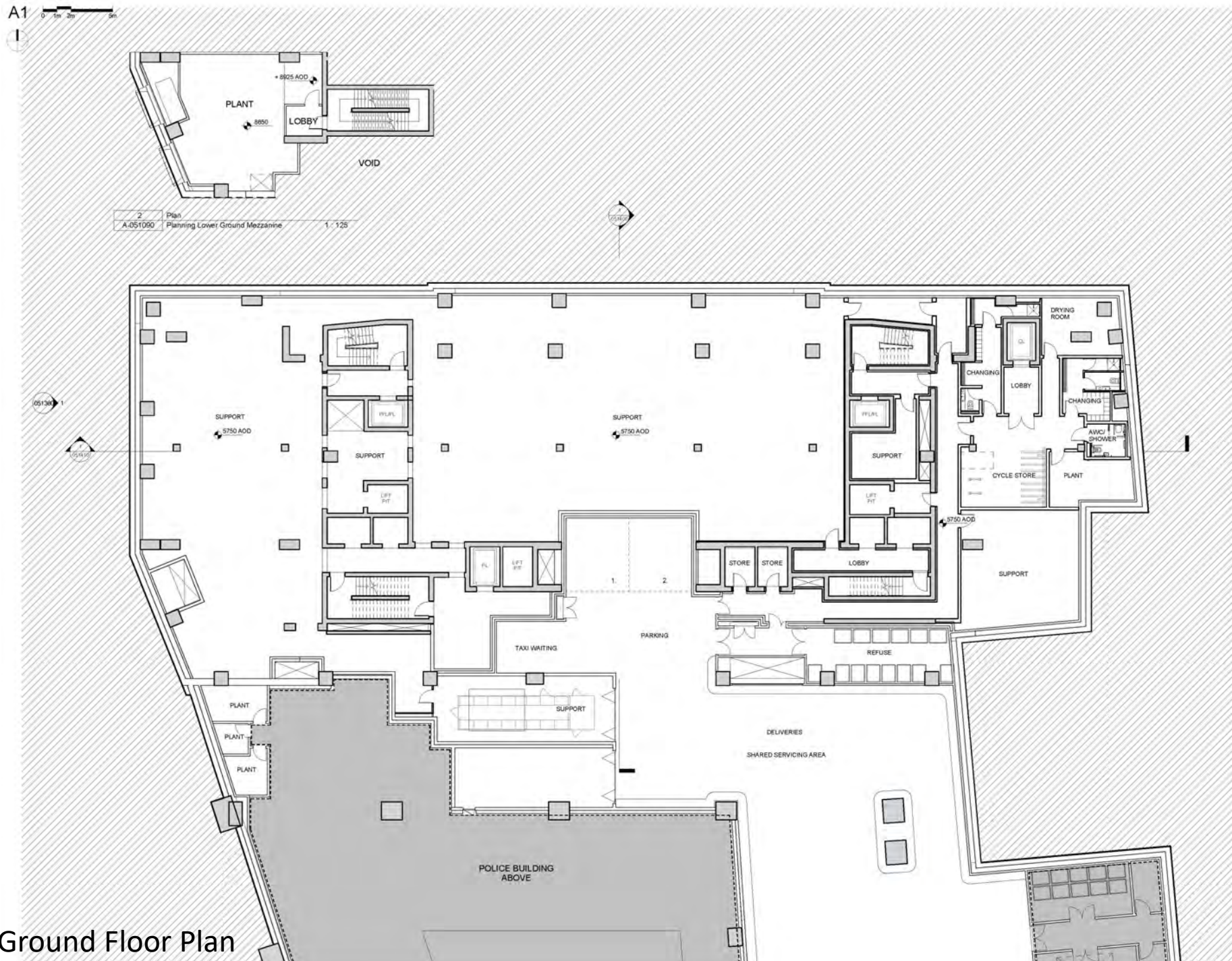
Sketch Proposed Looking South



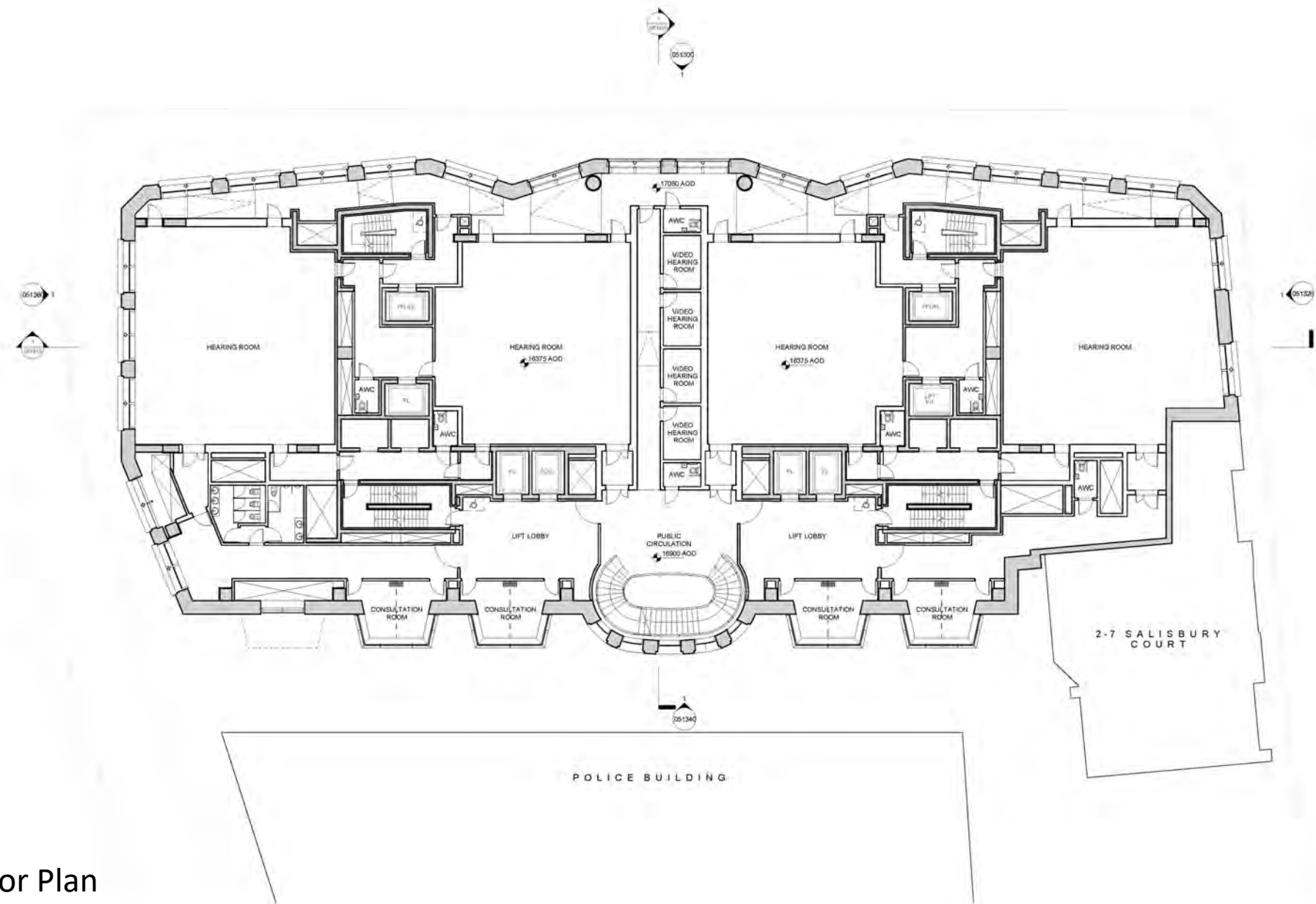
Sketch Proposed Looking East

The Court Building

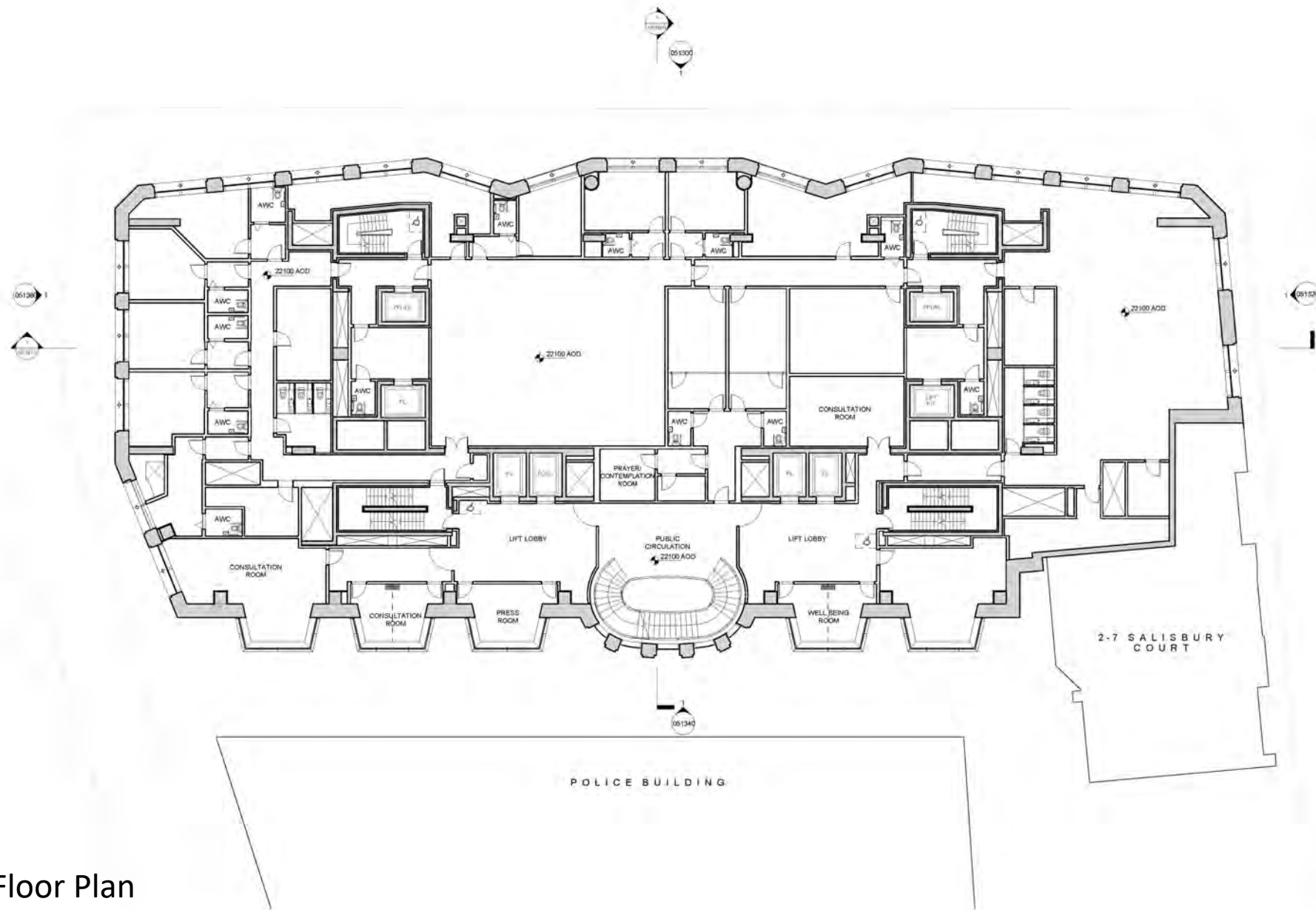




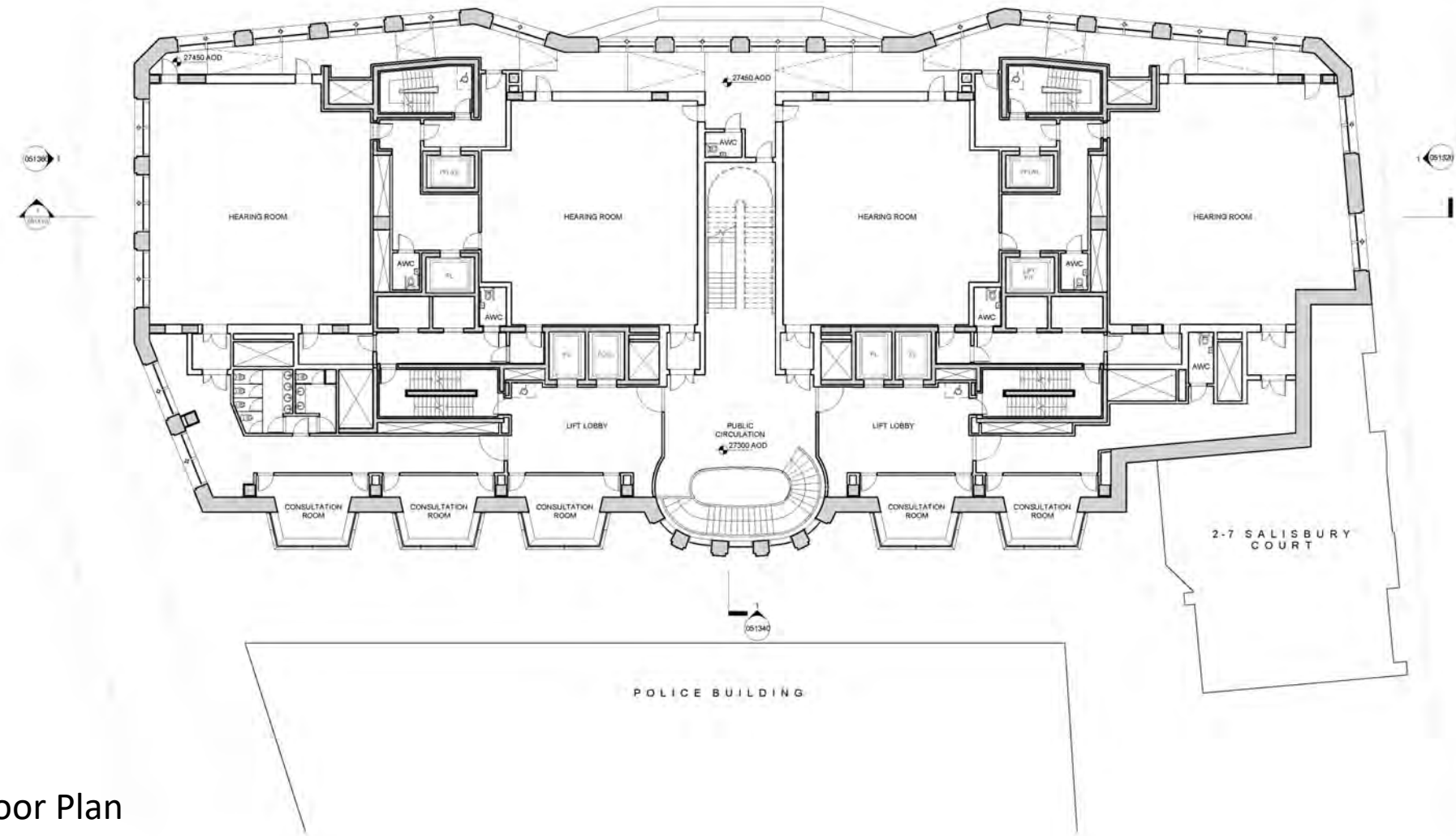
Proposed Lower Ground Floor Plan



Proposed First Floor Plan

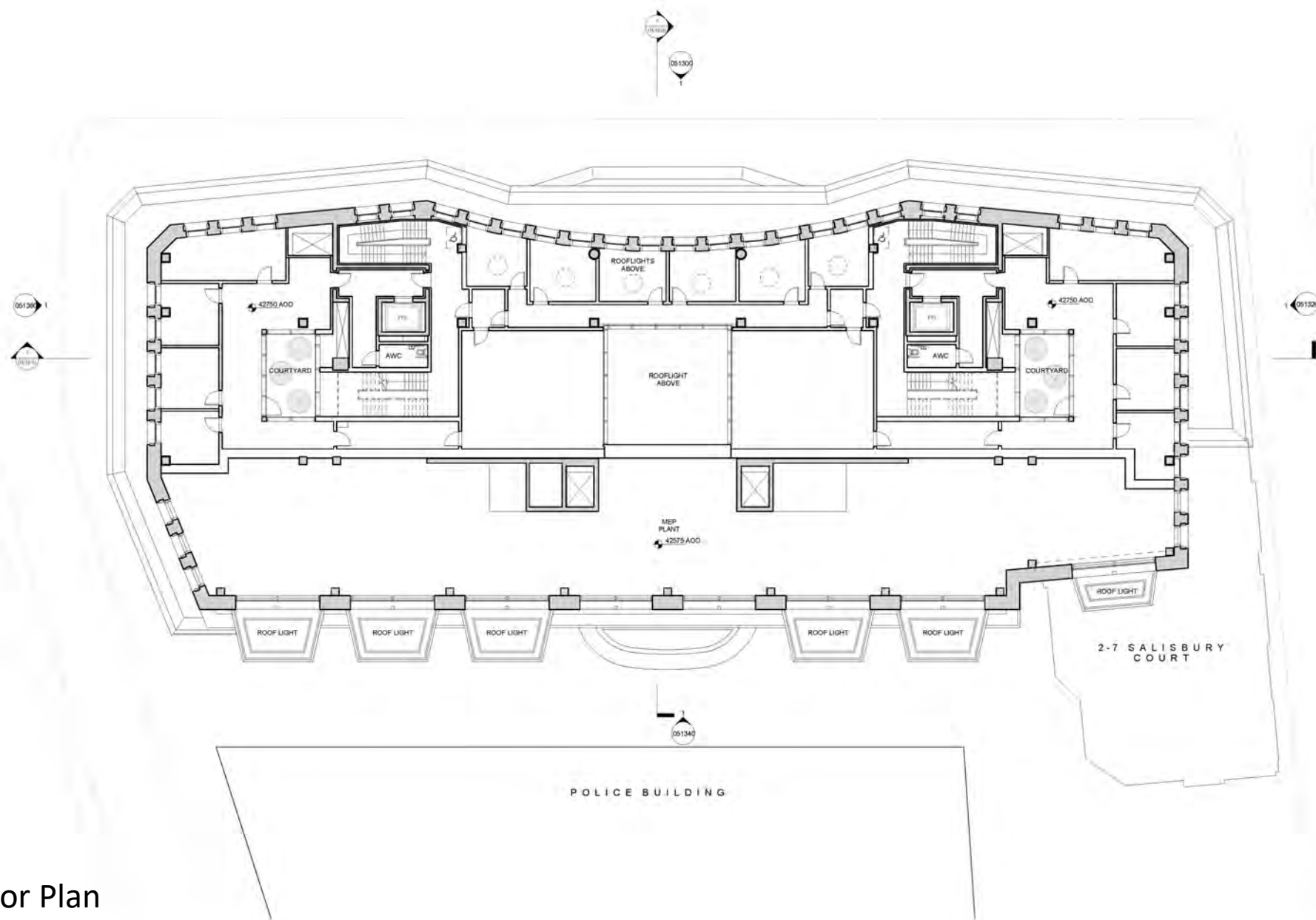


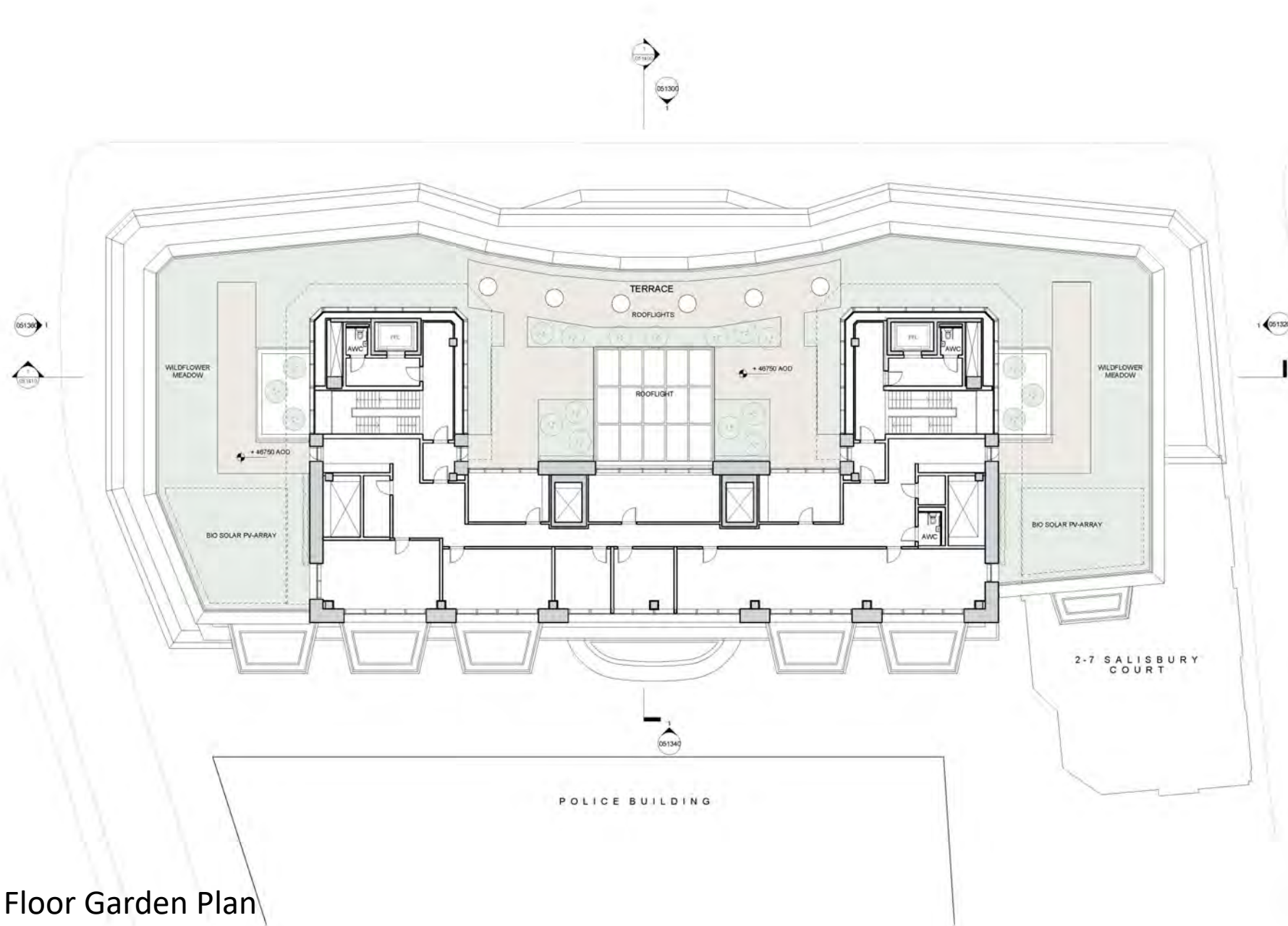
Proposed Second Floor Plan

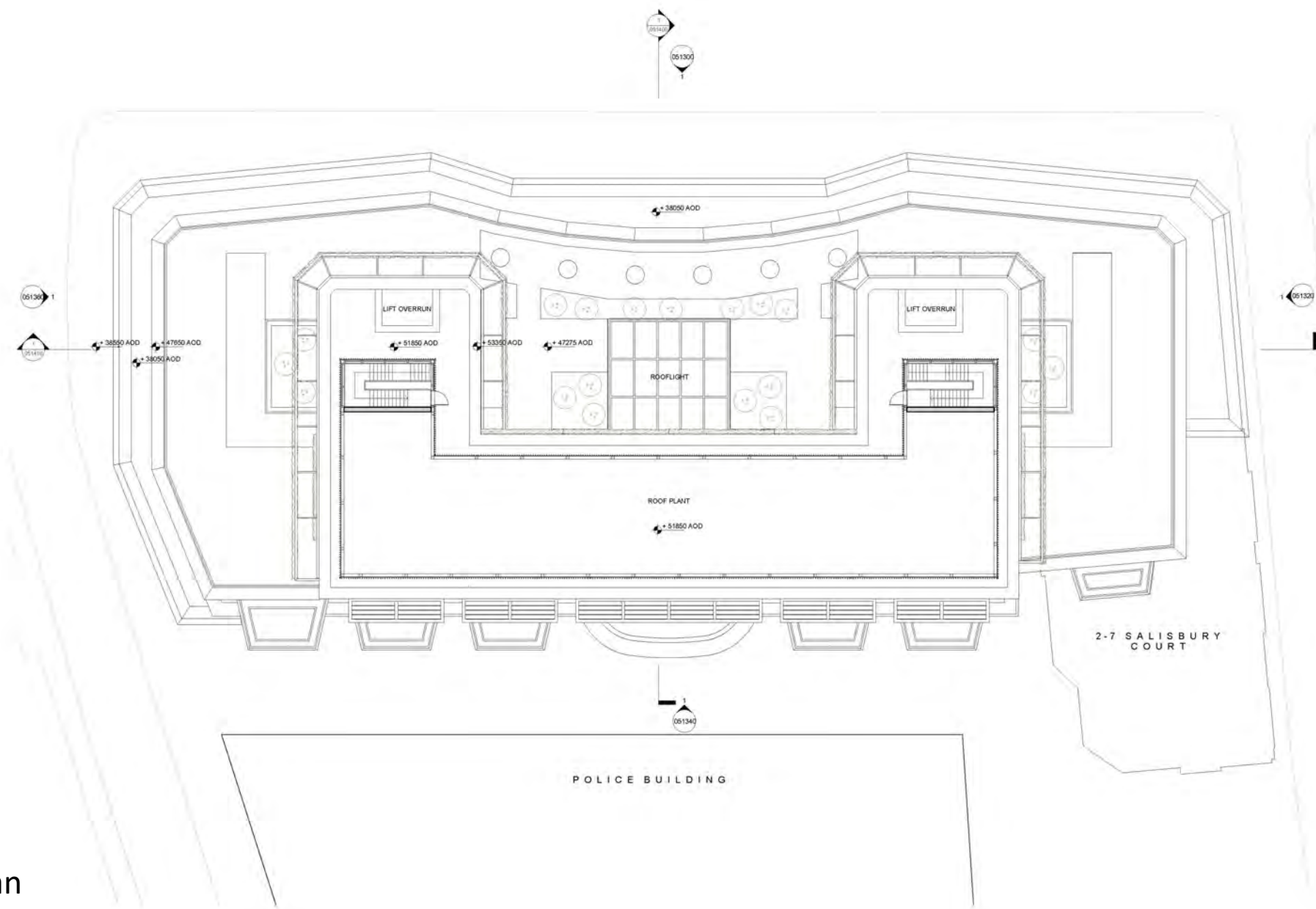






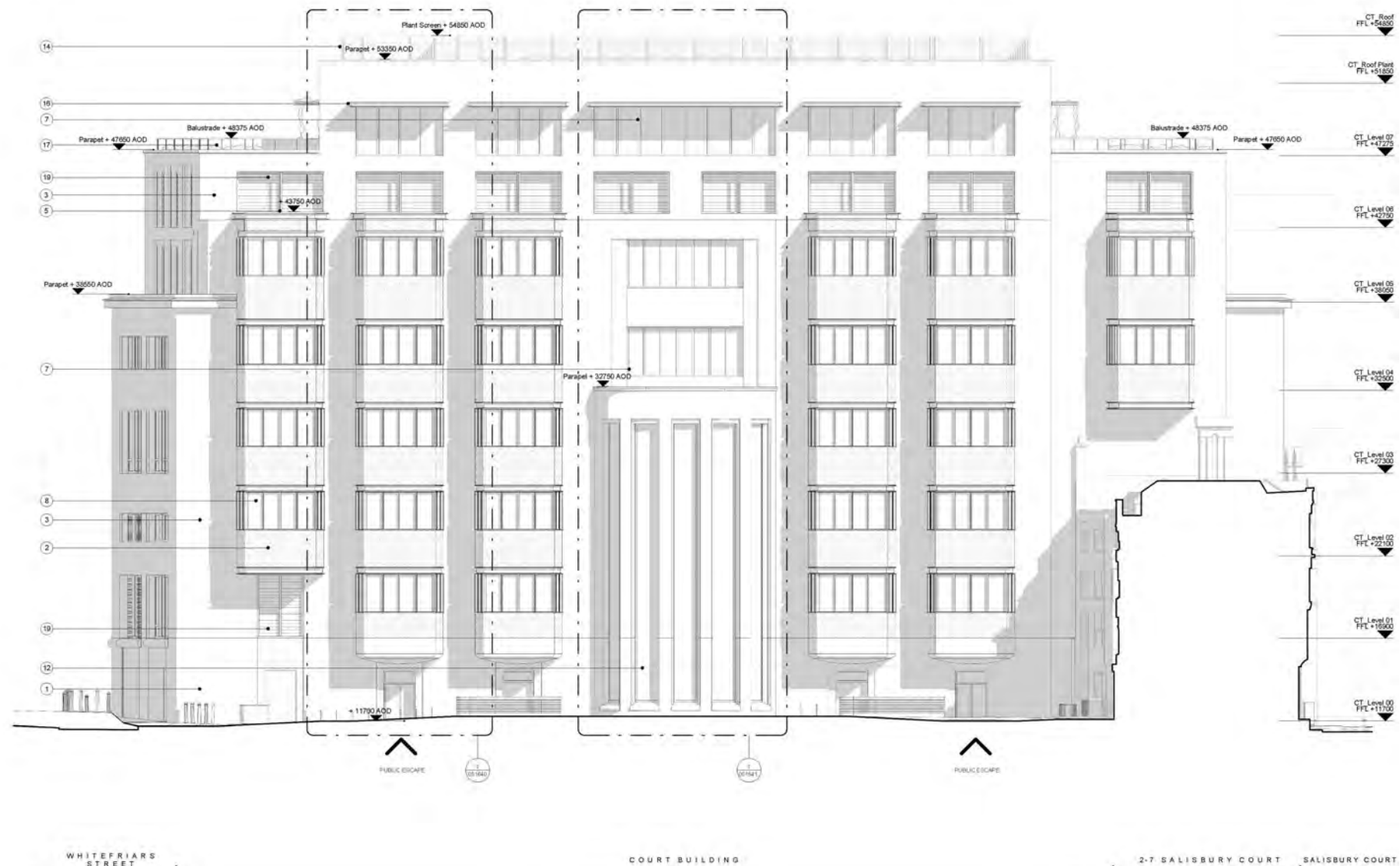






Proposed Roof Plan

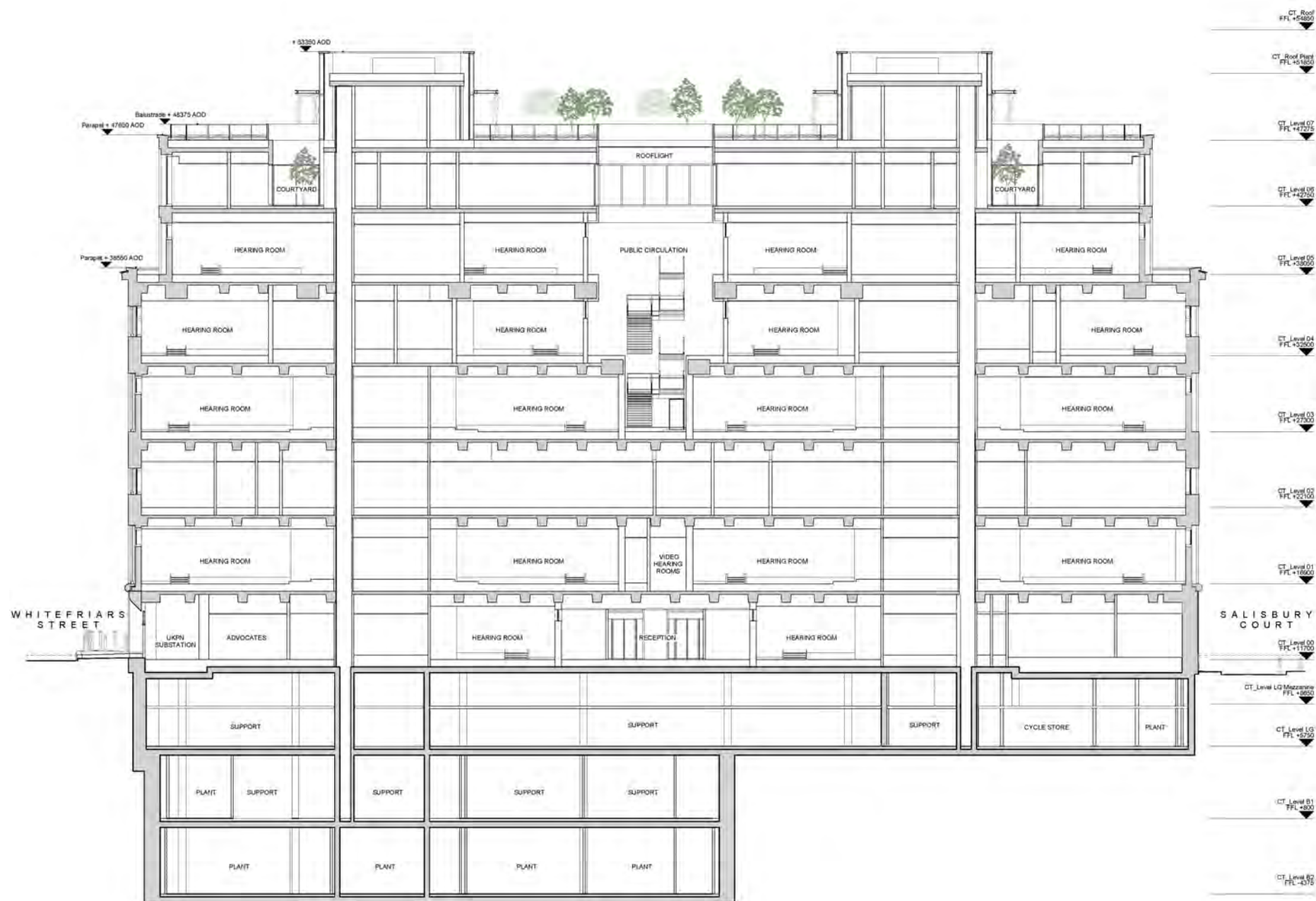




Proposed South Elevation



Court East and West Elevations



Proposed East West Section



HMCTS Court Stack: North- South Section



Court Roof Garden



Eric Parry Architects – The Charterhouse Museum



Eric Parry Architects – 7-8 St James's Square



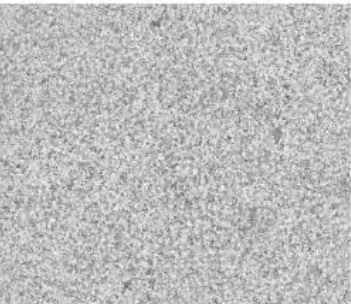
Galvanized Steel Bespoke Lacquer Finish



Ashlar Limestone

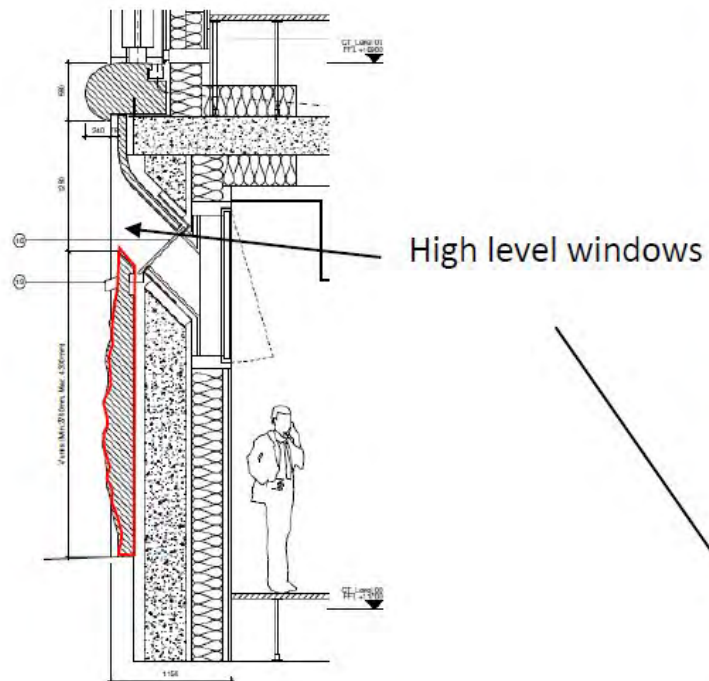
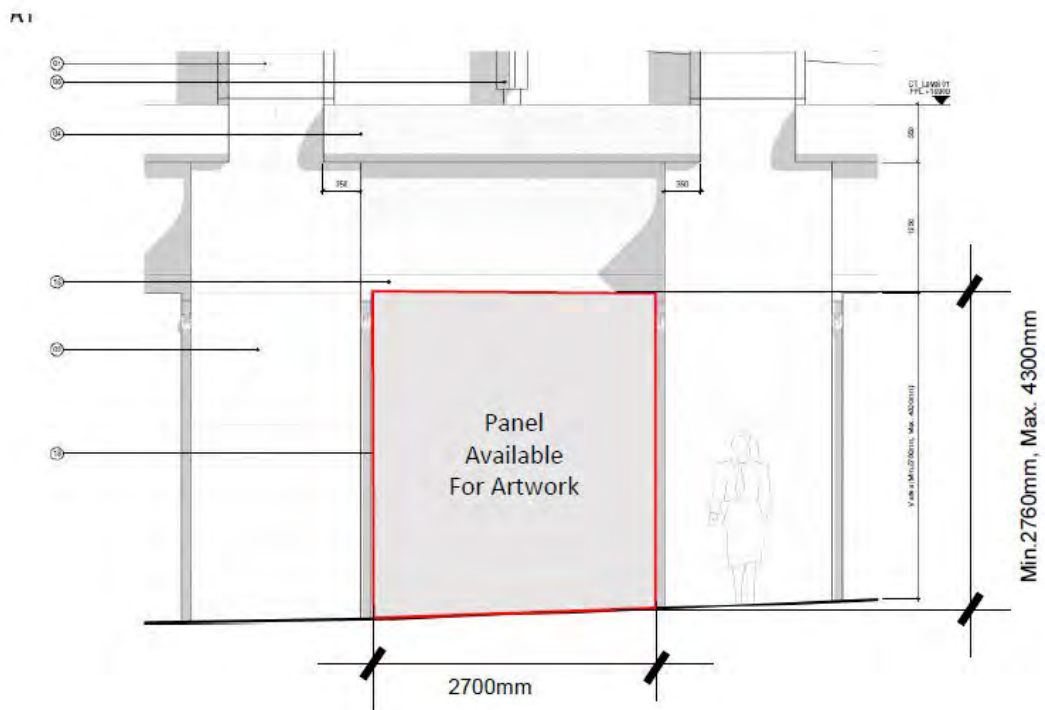


Honed Finish Granite

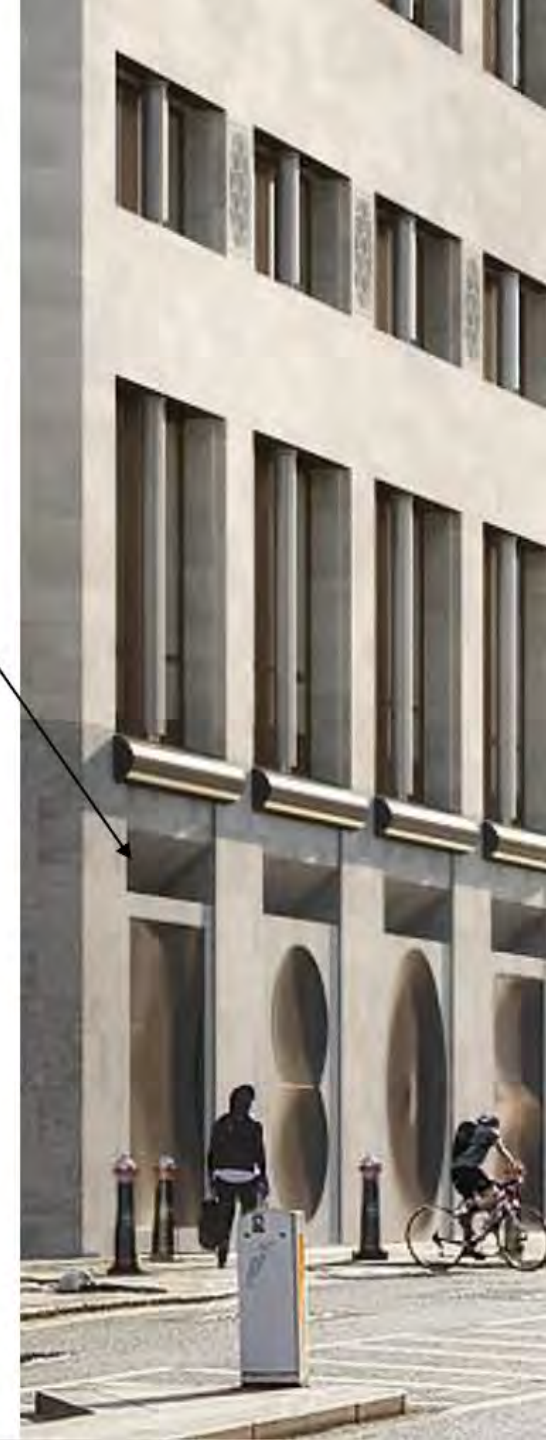


Picked Finish Granite

Court Façade Materials



10 No. Panels Available for Art

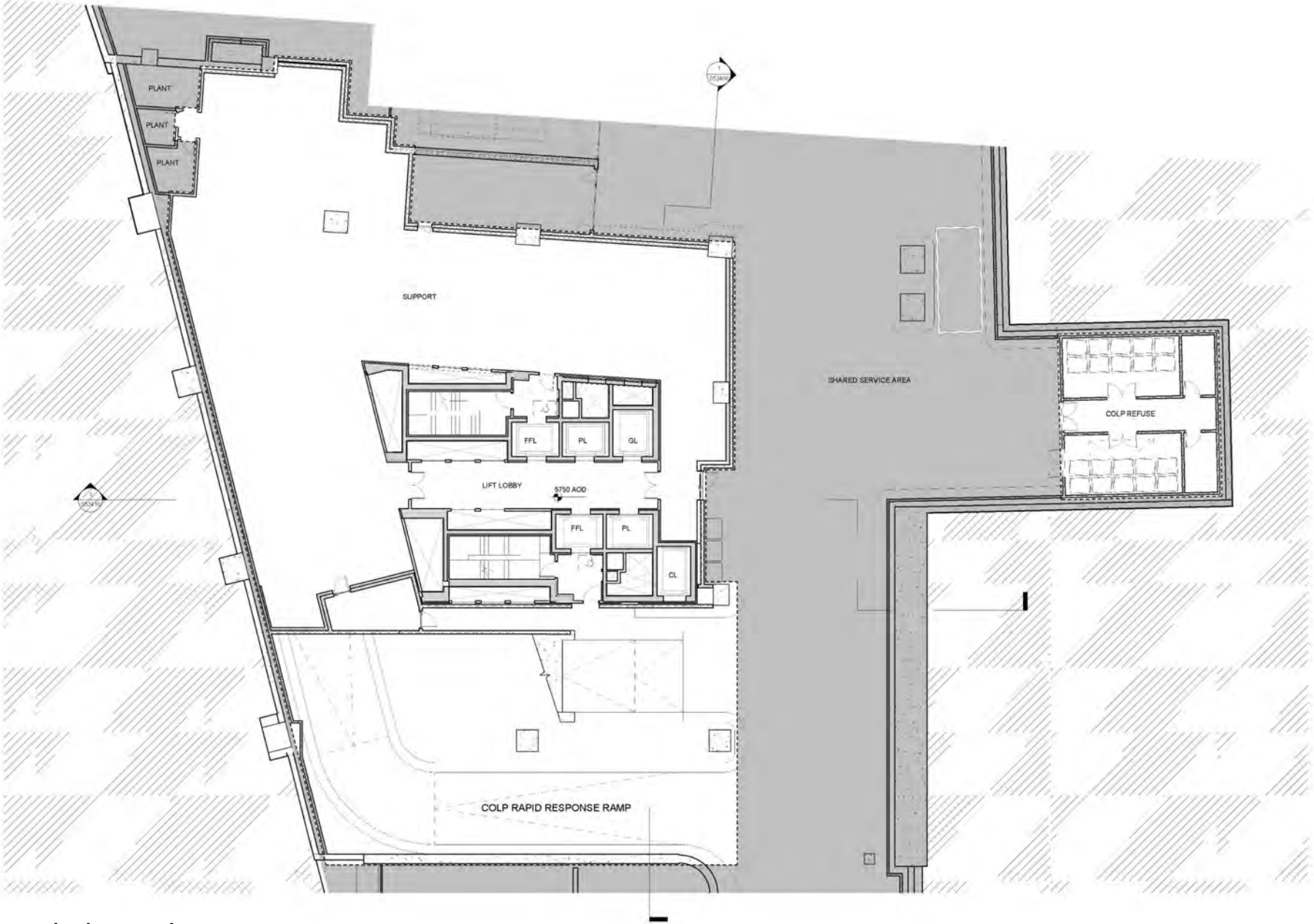




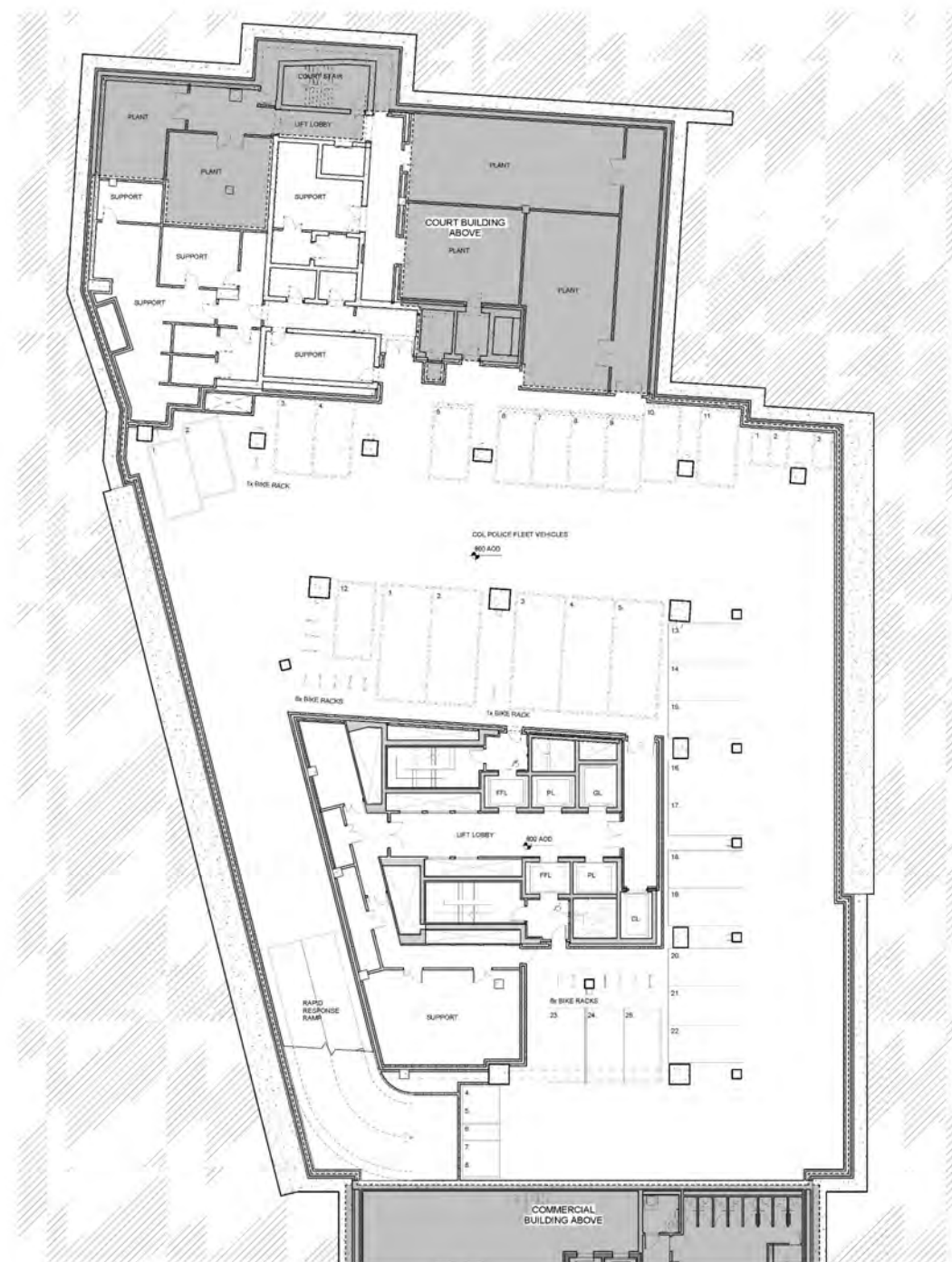
The Police Building



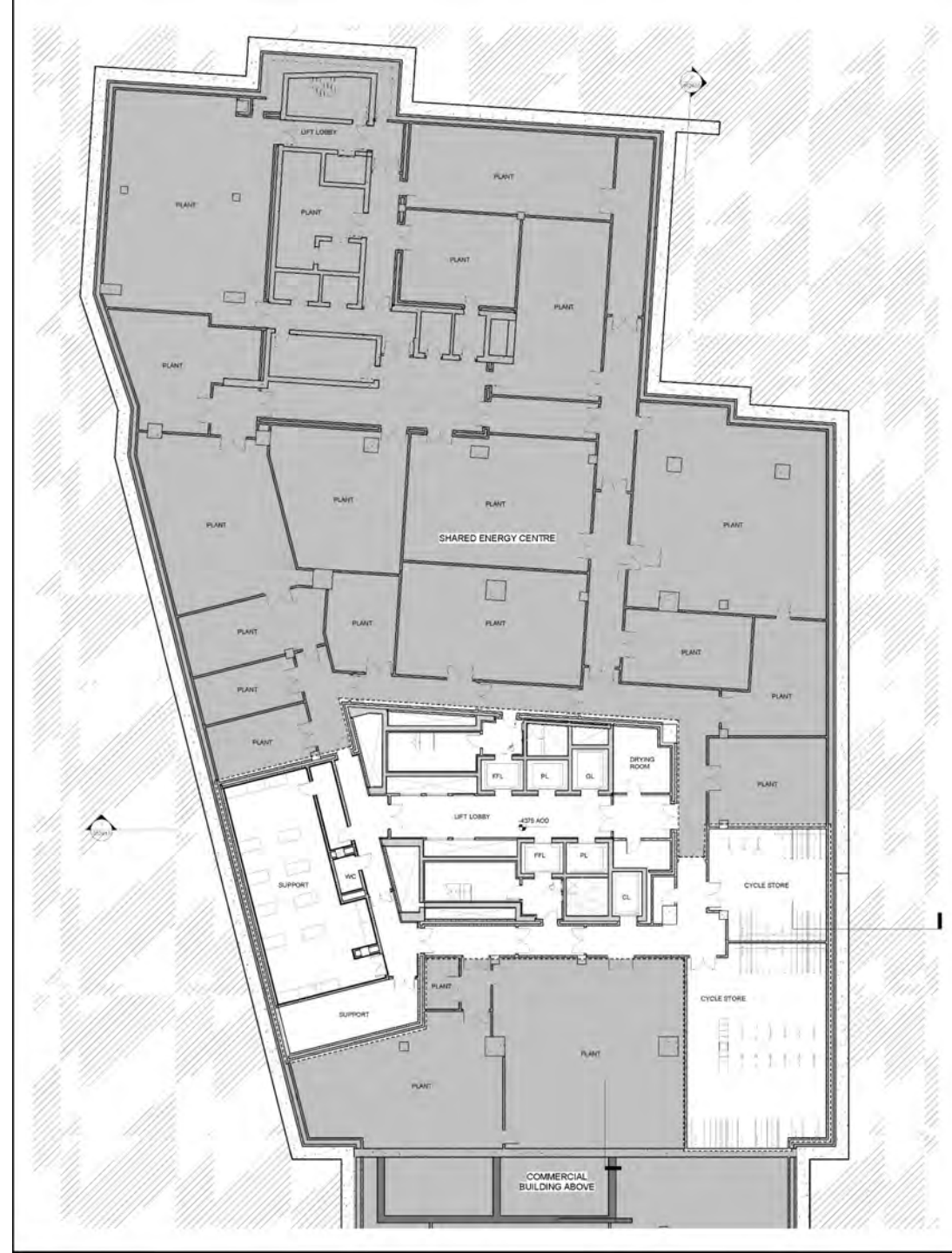
Proposed Ground Floor Plan

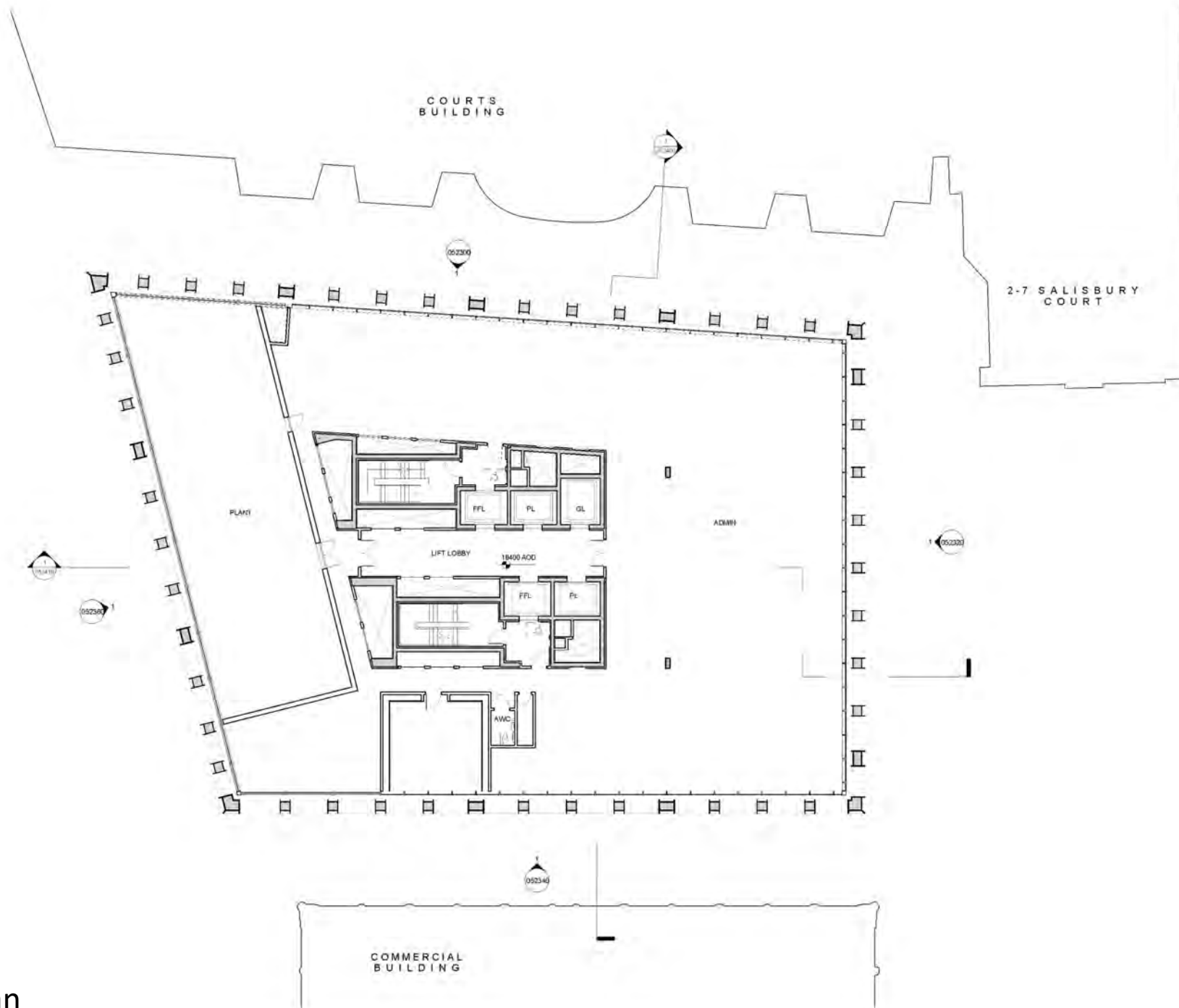


Proposed Lower Ground Floor Plan

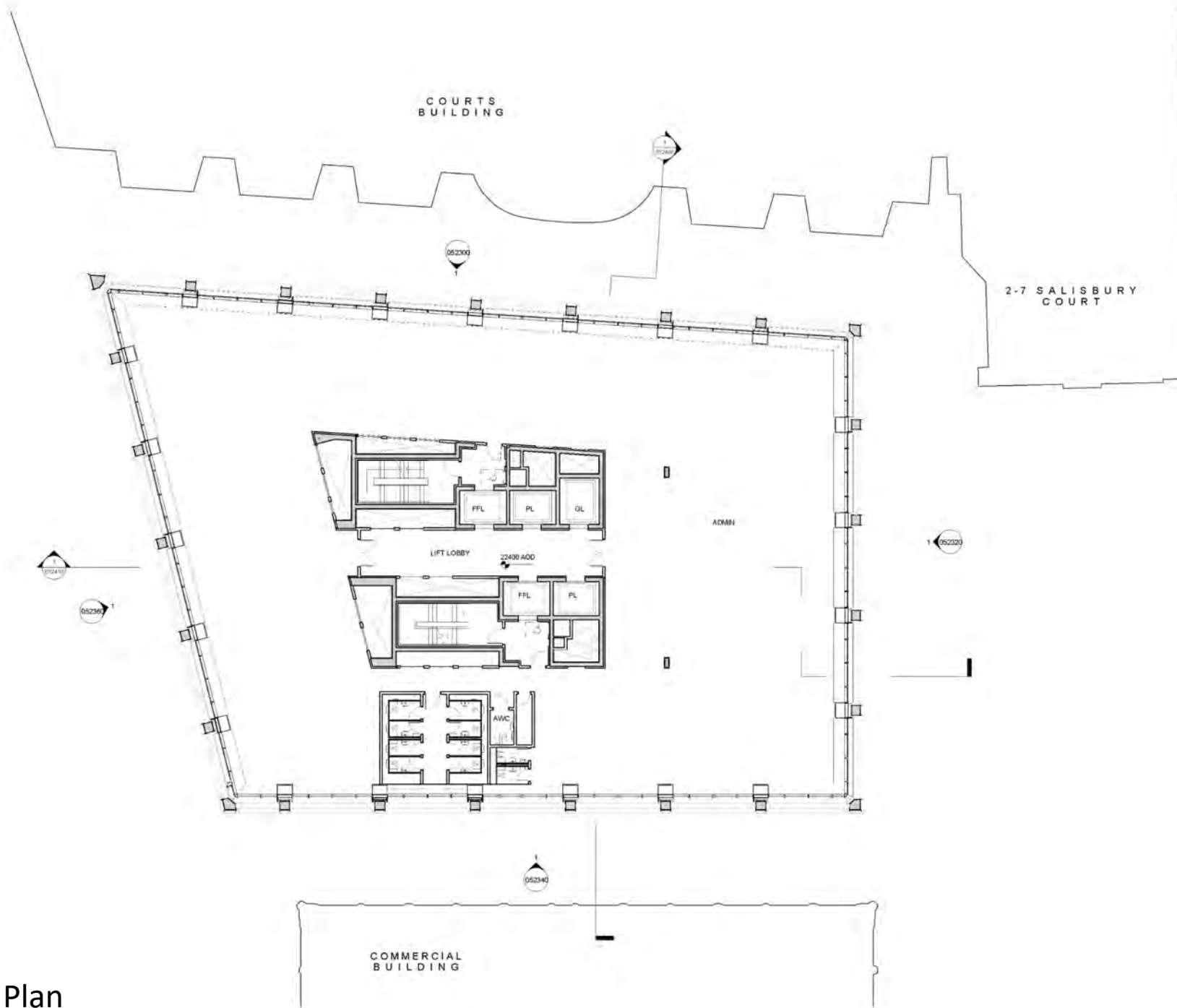


Proposed Basement 1 Floor Plan

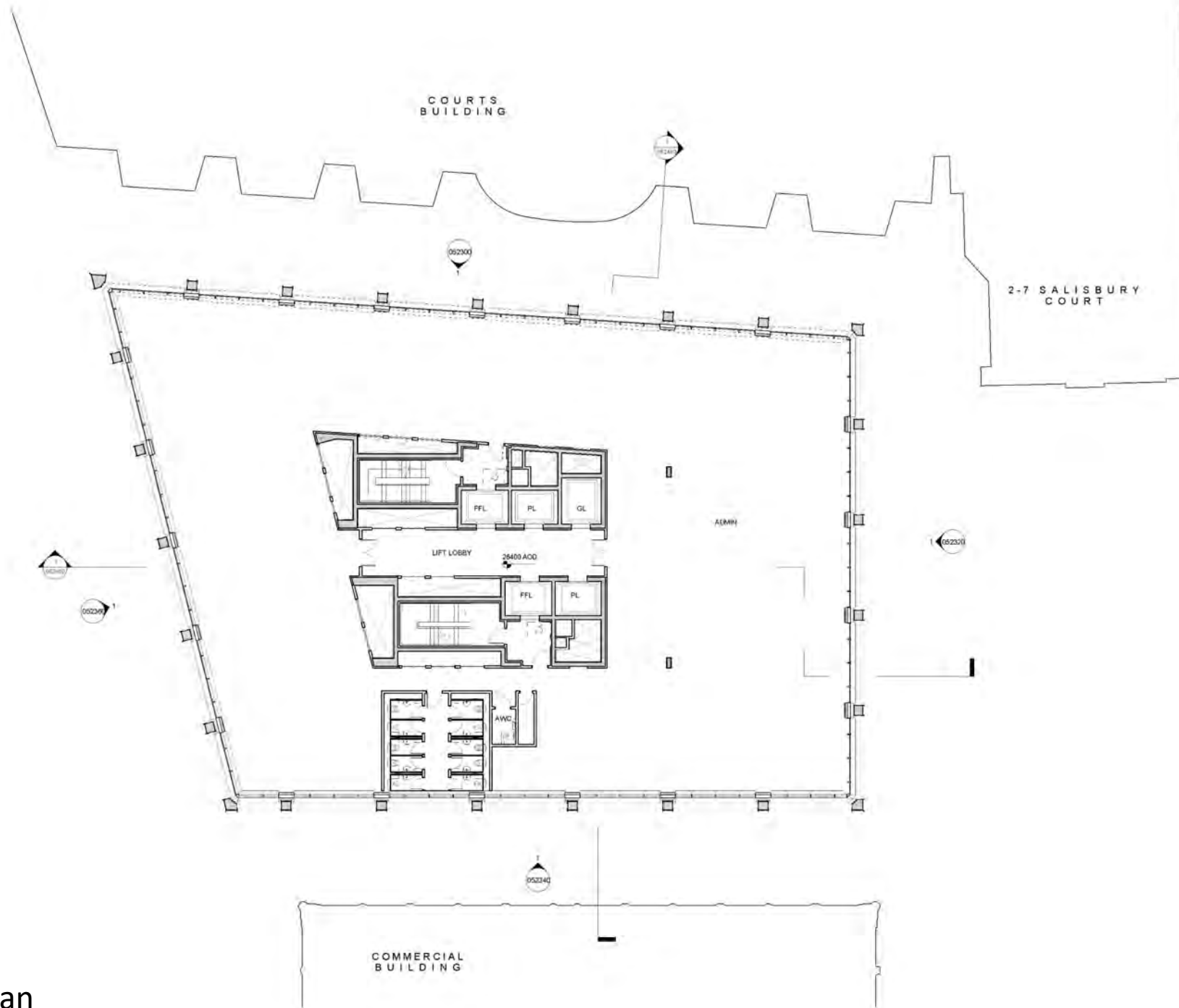




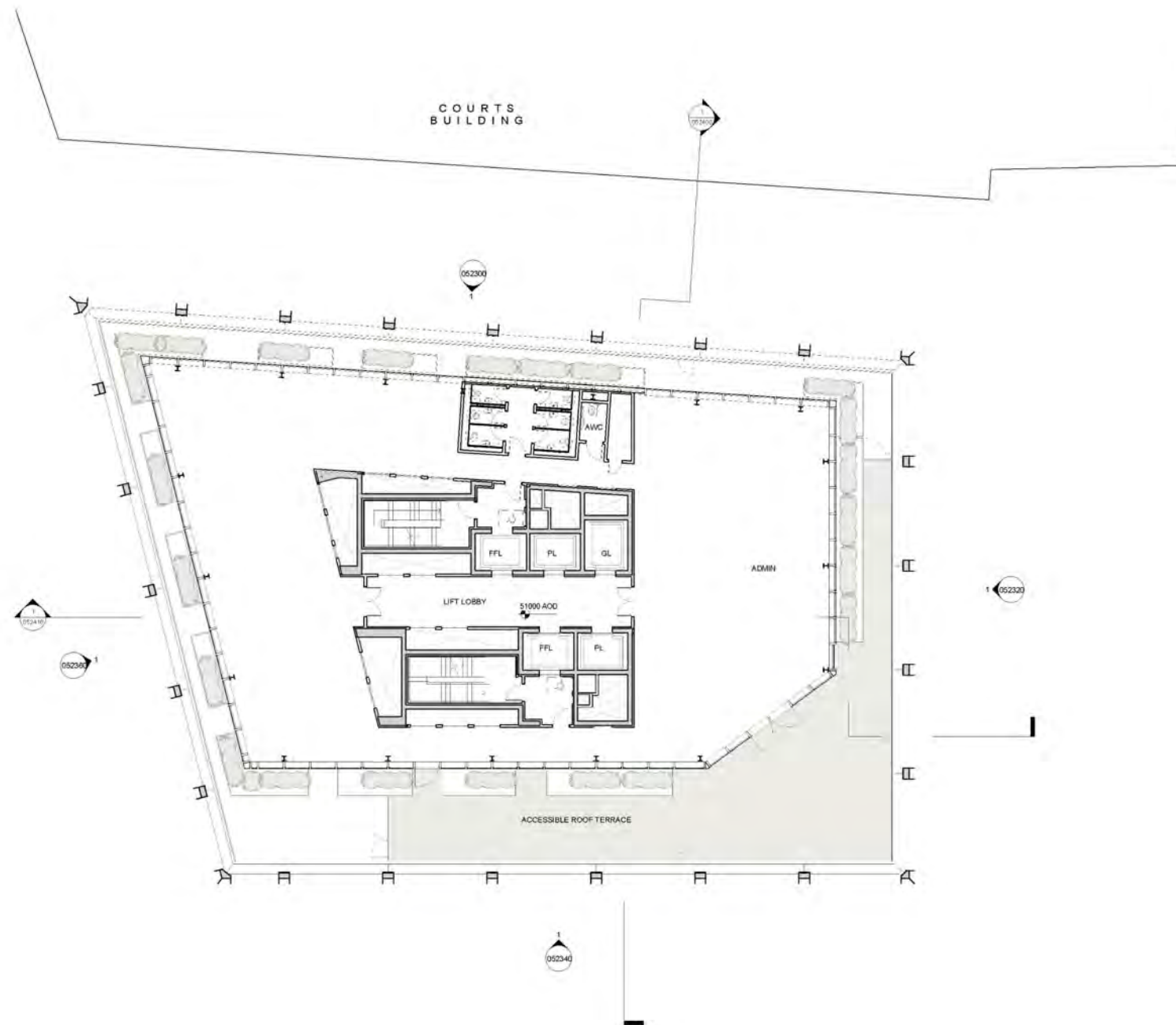
Proposed First Floor Plan



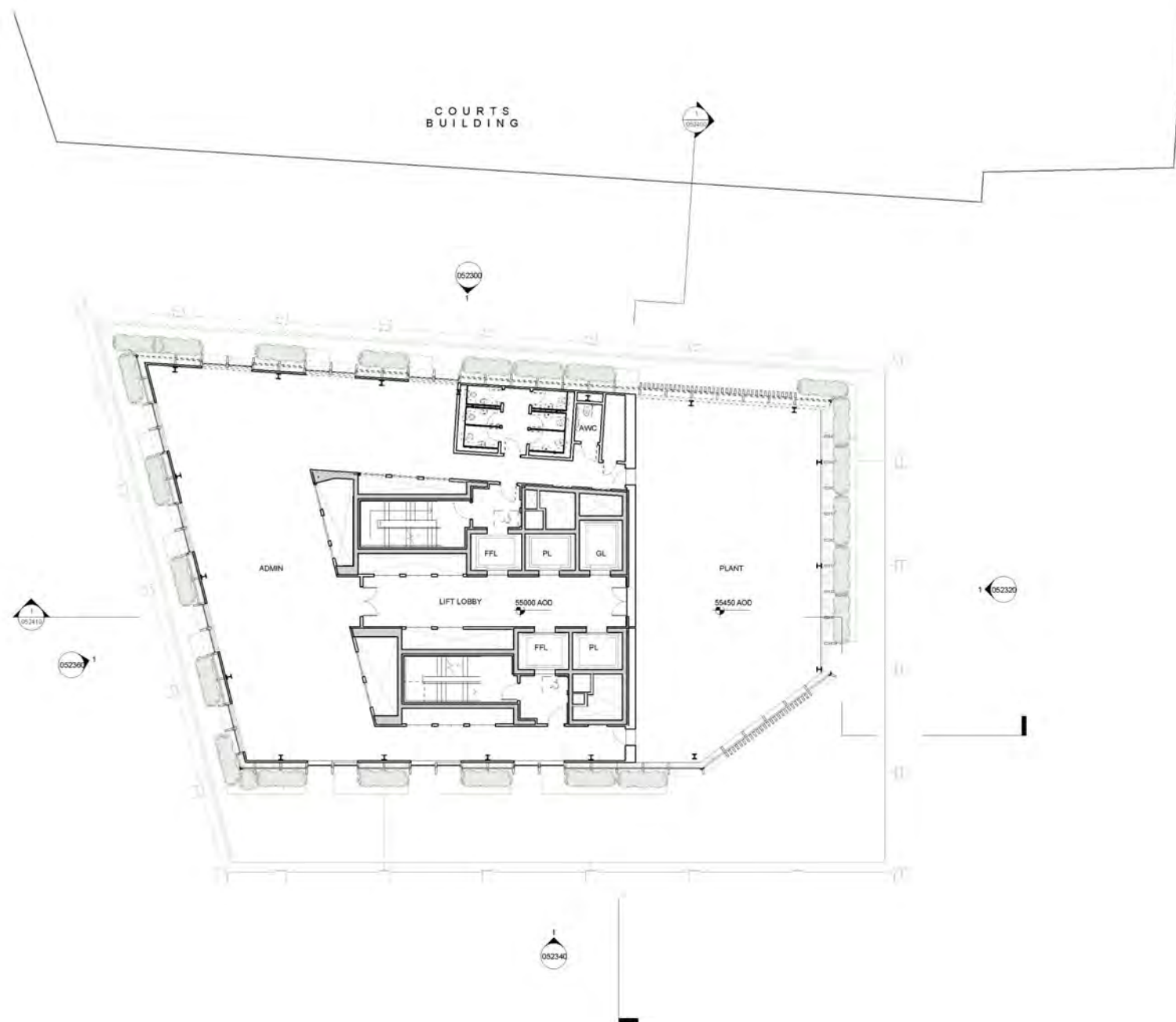
Proposed Second Floor Plan



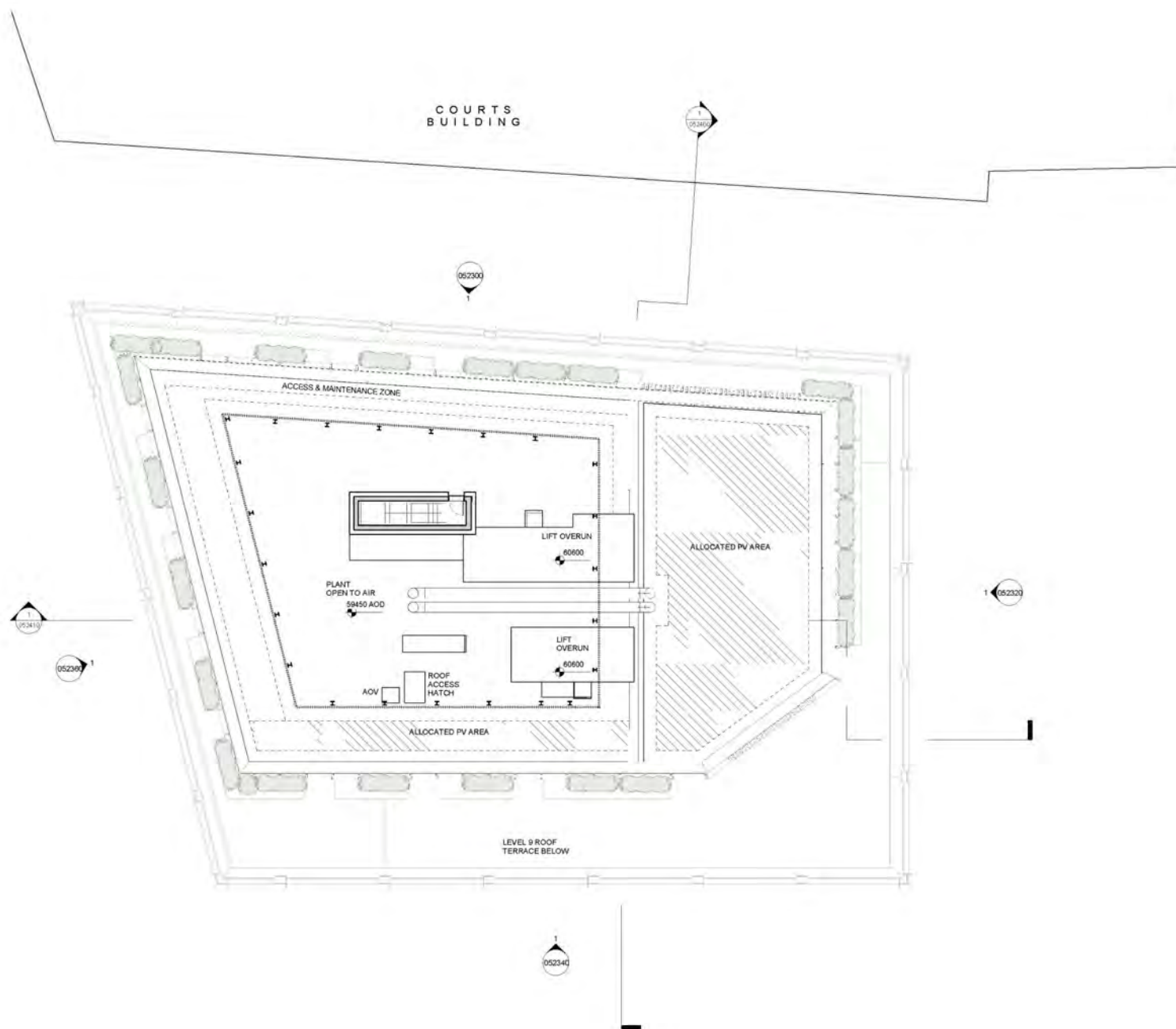
Proposed Third Floor Plan



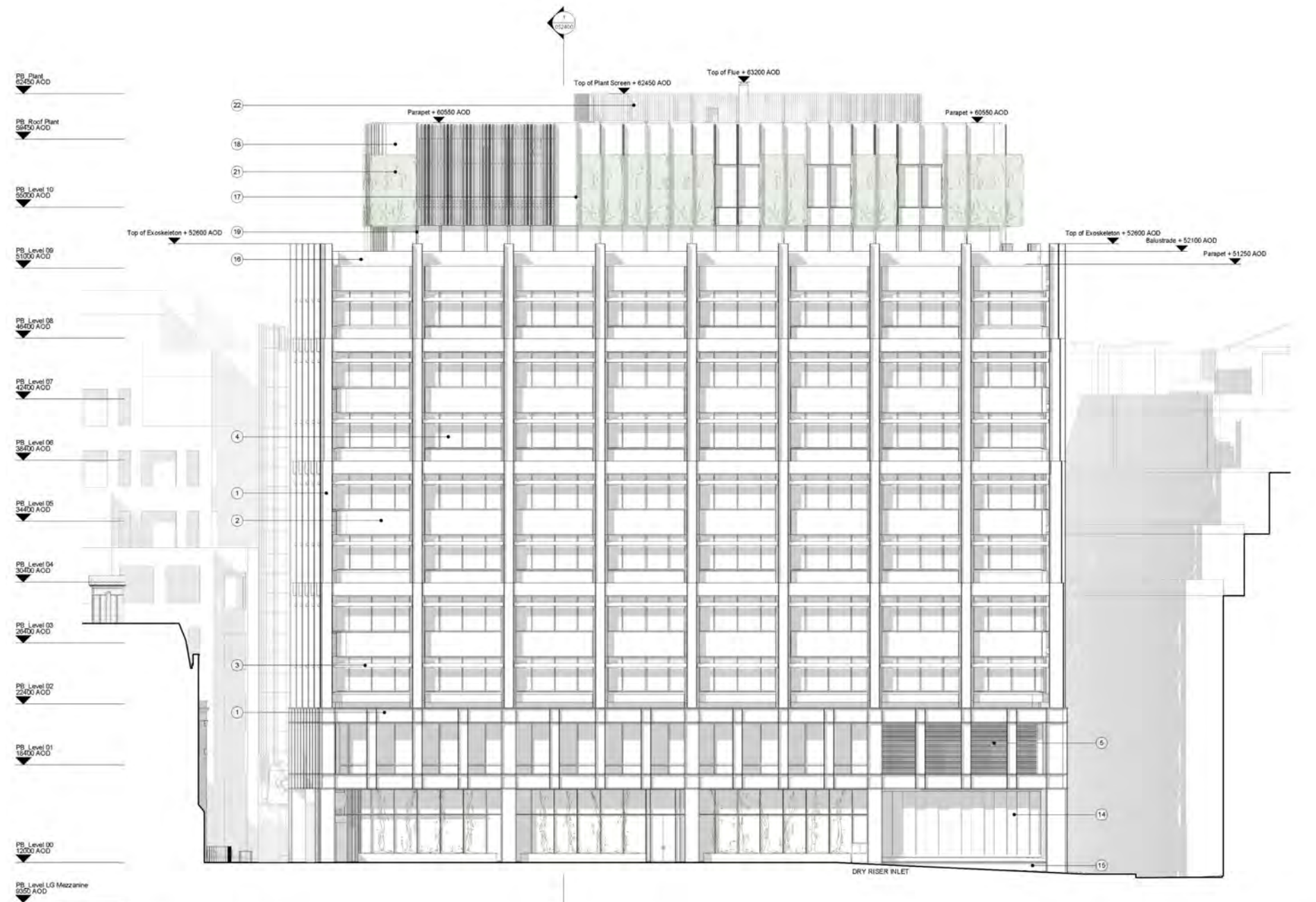
Proposed Ninth Floor Plan



Proposed Tenth Floor Plan



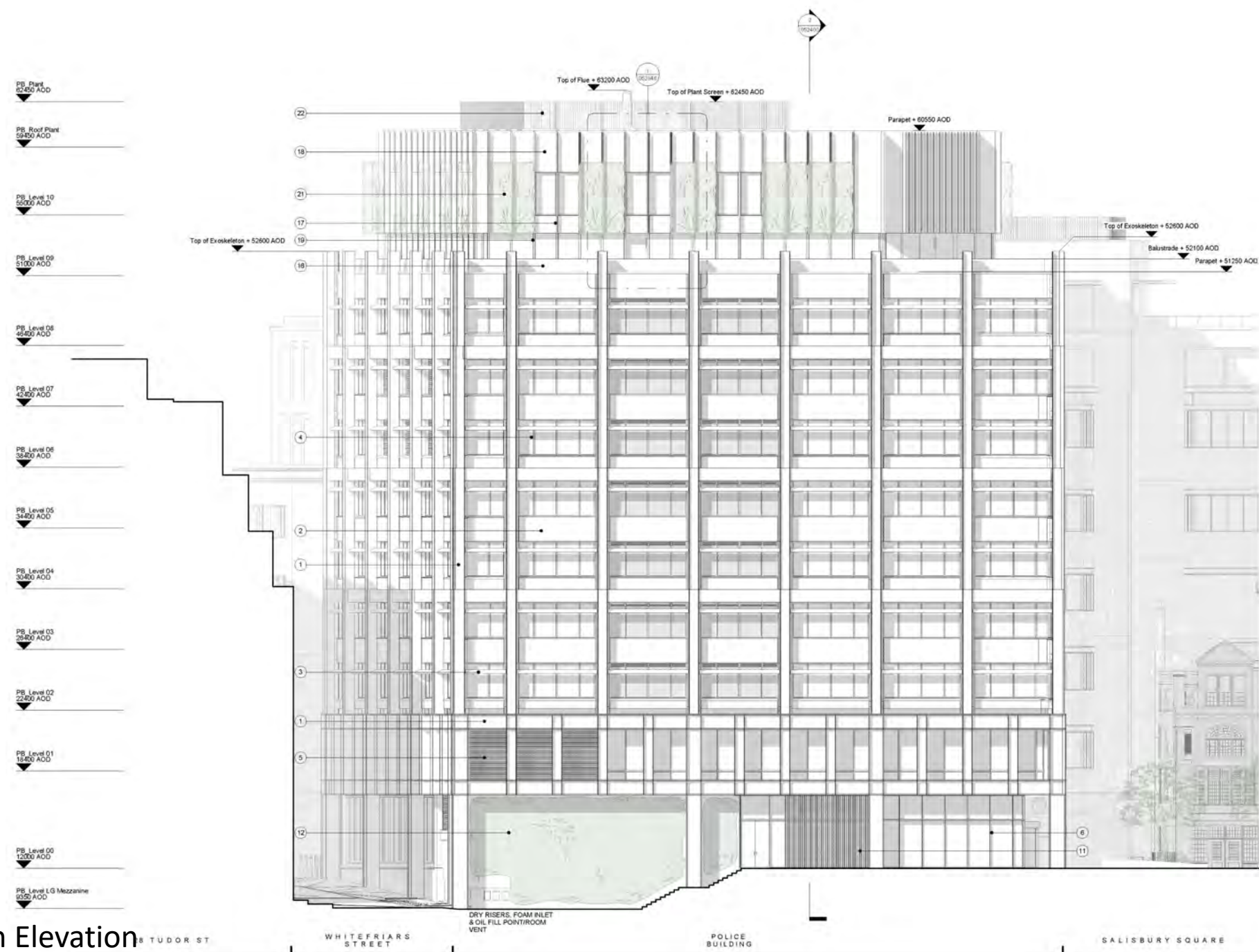
Proposed Roof Plan



Proposed North Elevation



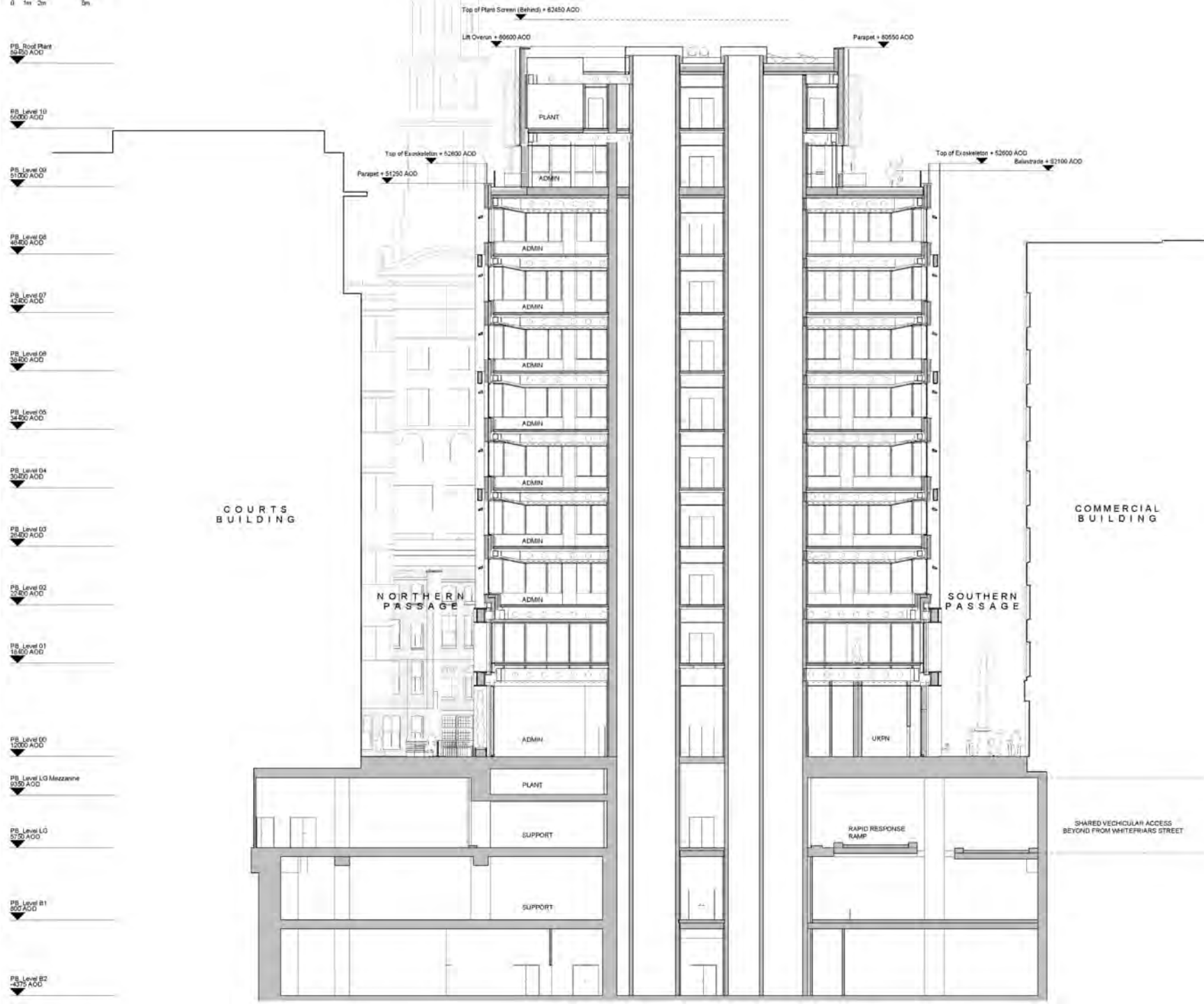
Proposed East Elevation

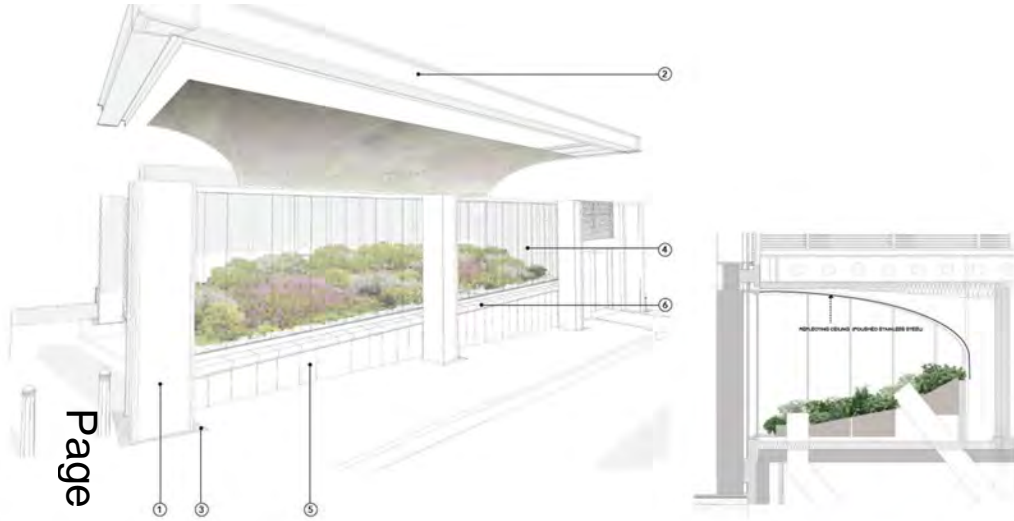


Proposed South Elevation



Proposed West Elevation





Page 76

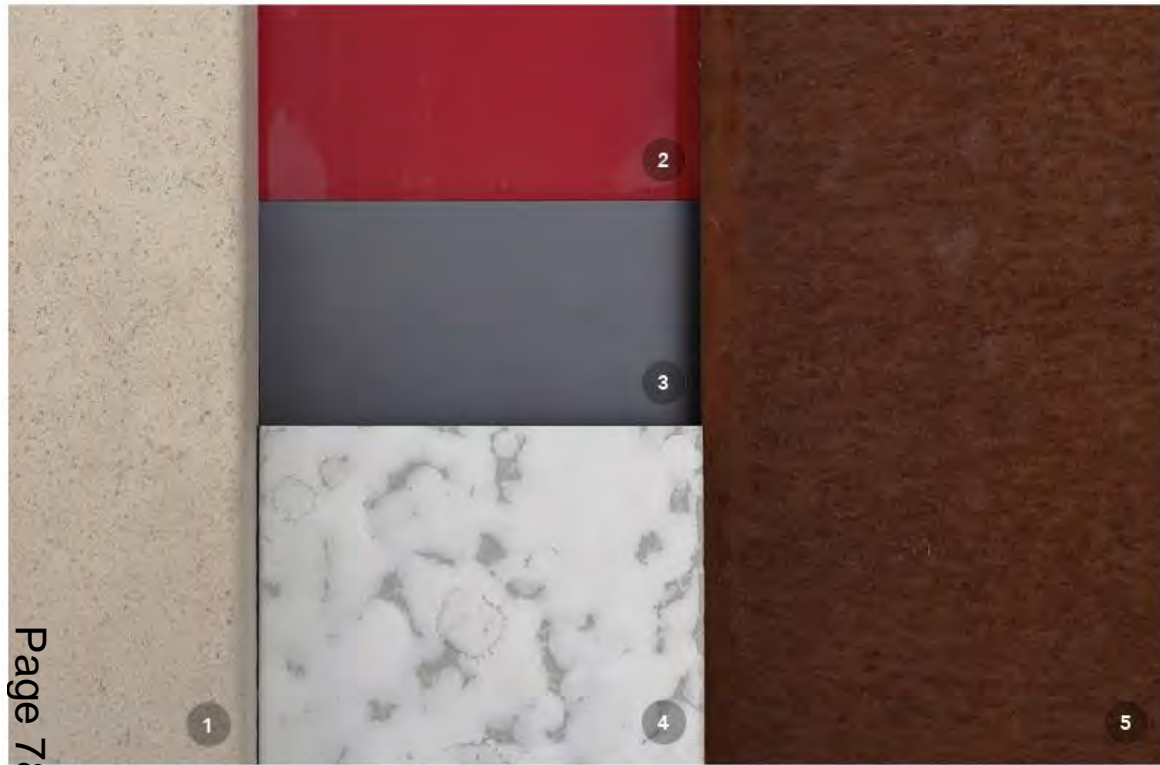
Key

- 1 Weathered steel mega-pier. Sandblasted finish
- 2 Weathered steel plate vierendeel truss. Sandblasted finish. Concealed gutter with RWP connections
- 3 Drained pier base with cast iron grille
- 4 Tripple laminate glazing with 75 mm air gaps for ventilation. Top hung restrained base
- 5 Black picked granite plinth. Hand-set, self-supported
- 6 Bull nosed and curved honed black granite cill. Hand-set, self-supported

Heliostat garden and View to Salisbury Square







Page 78



1. Unglazed Terracotta
2. Vitreous Enamel
3. Anodised Aluminium
4. Two Coloured Twice Fired glazed Terracotta
5. Weathering Steel

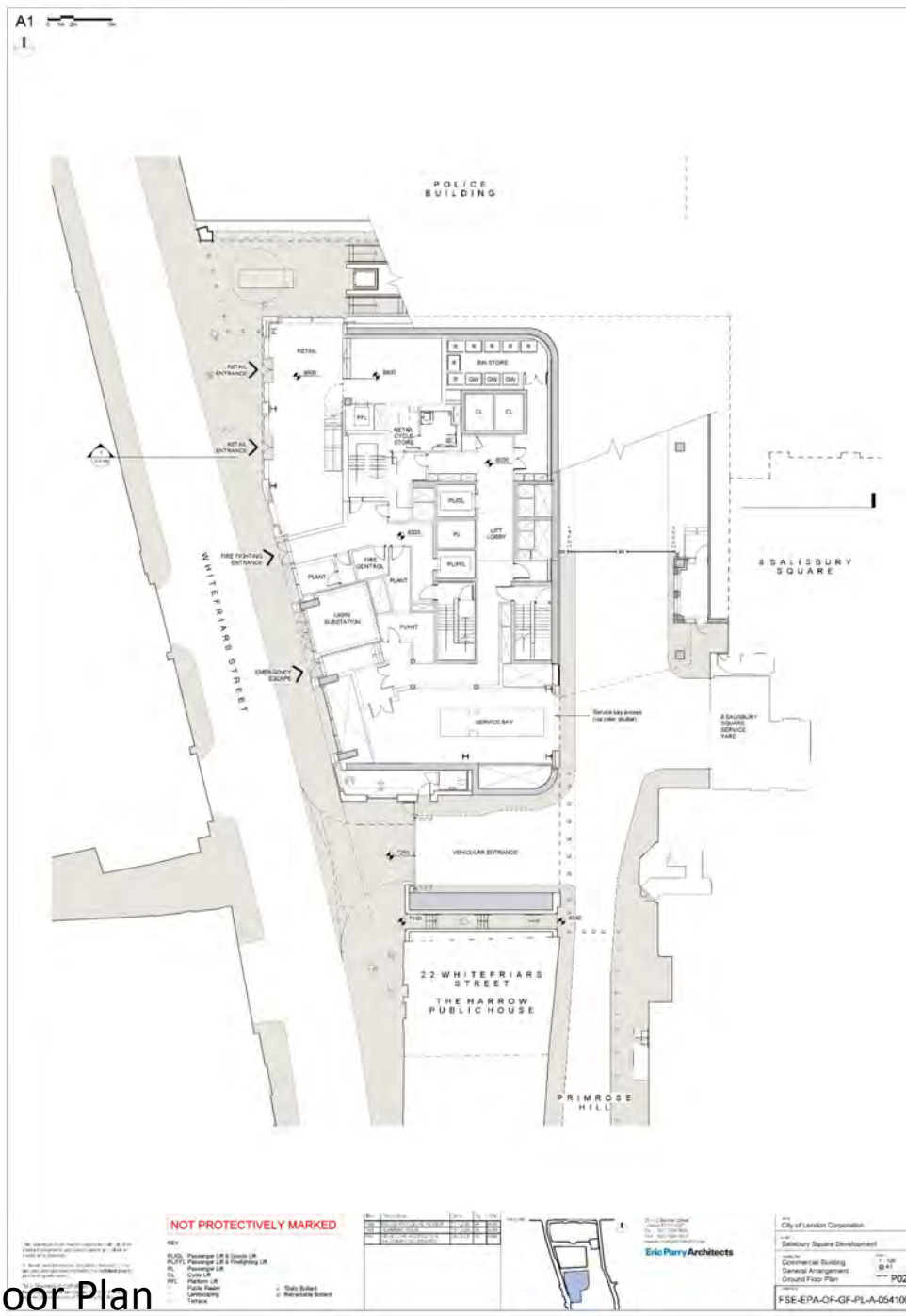


Police Building Materials



View to Salisbury Square

The Commercial Building



NOT PROTECTIVELY MARKED

KEY

- PL/OL Passenger L/R & Goods L/R
- PL/OTL Passenger L/R & Tricycle L/R
- PL Passenger L/R
- CL Cycle L/R
- PL Platform L/R
- PL Public Space
- PL Landscaping
- PL
- PL

City of London Corporation

Salisbury Square Development

Commercial Building

General Arrangement

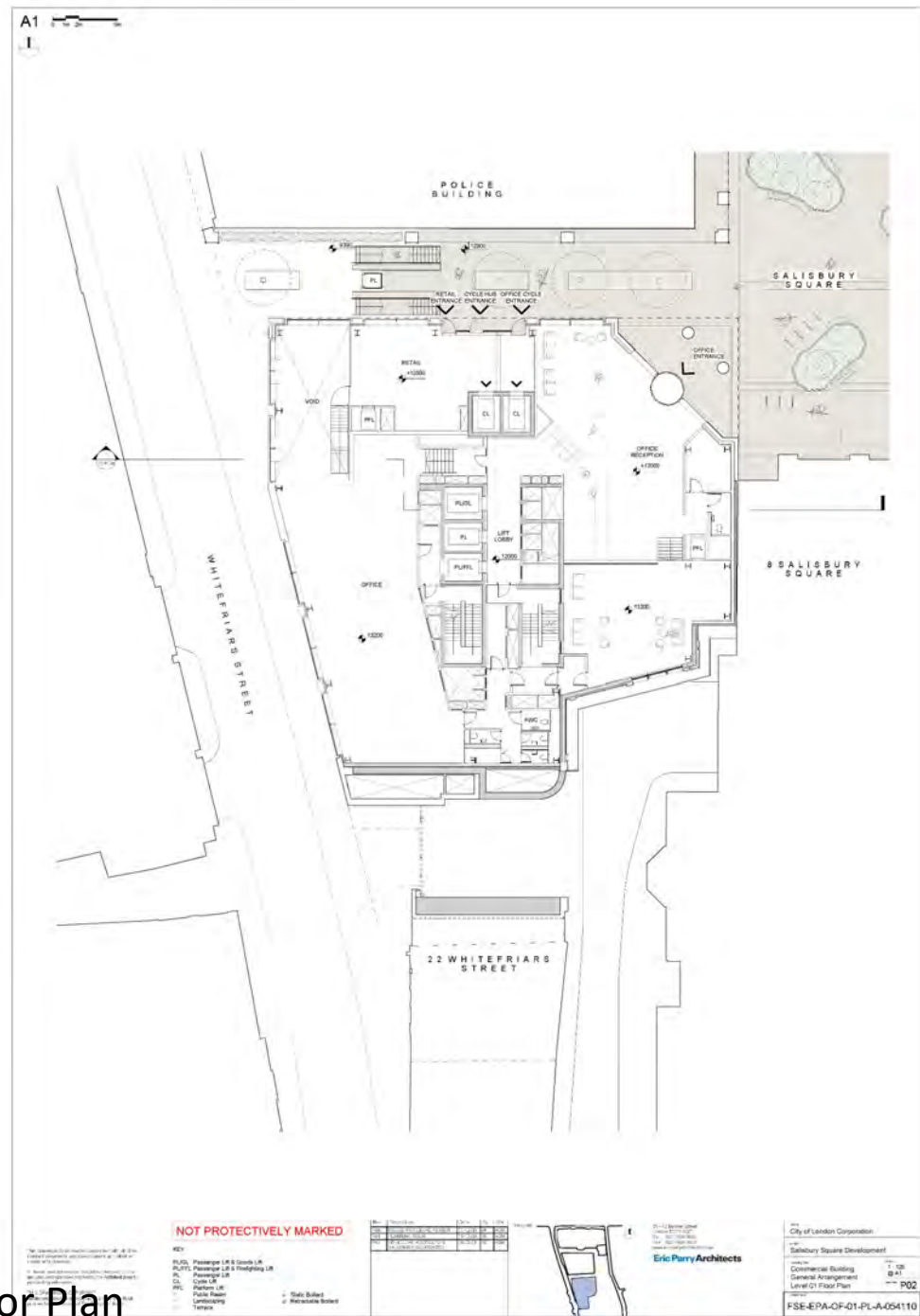
Ground Floor Plan

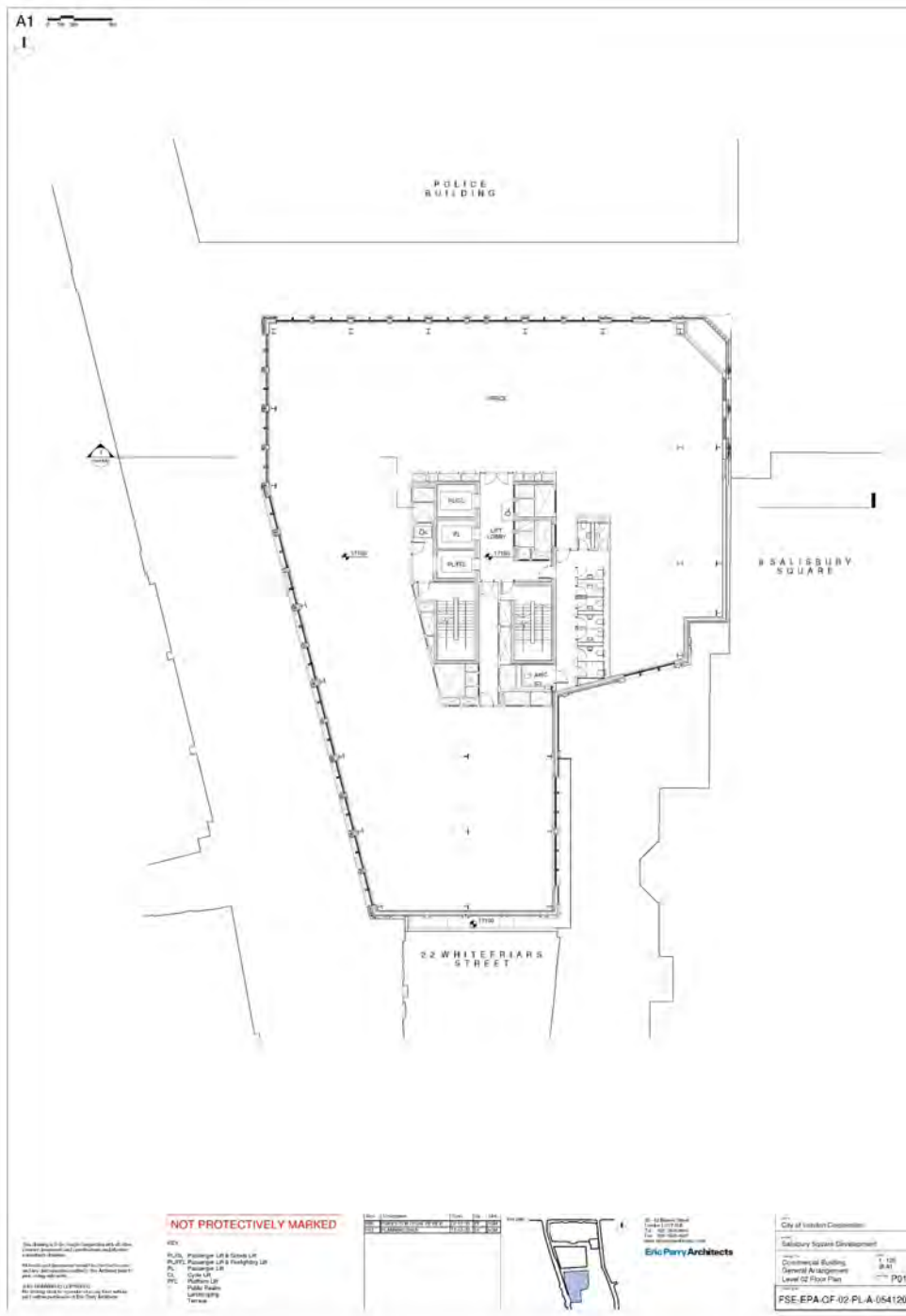
P02

FSE-EPA-CP-GF-PL-A-054100





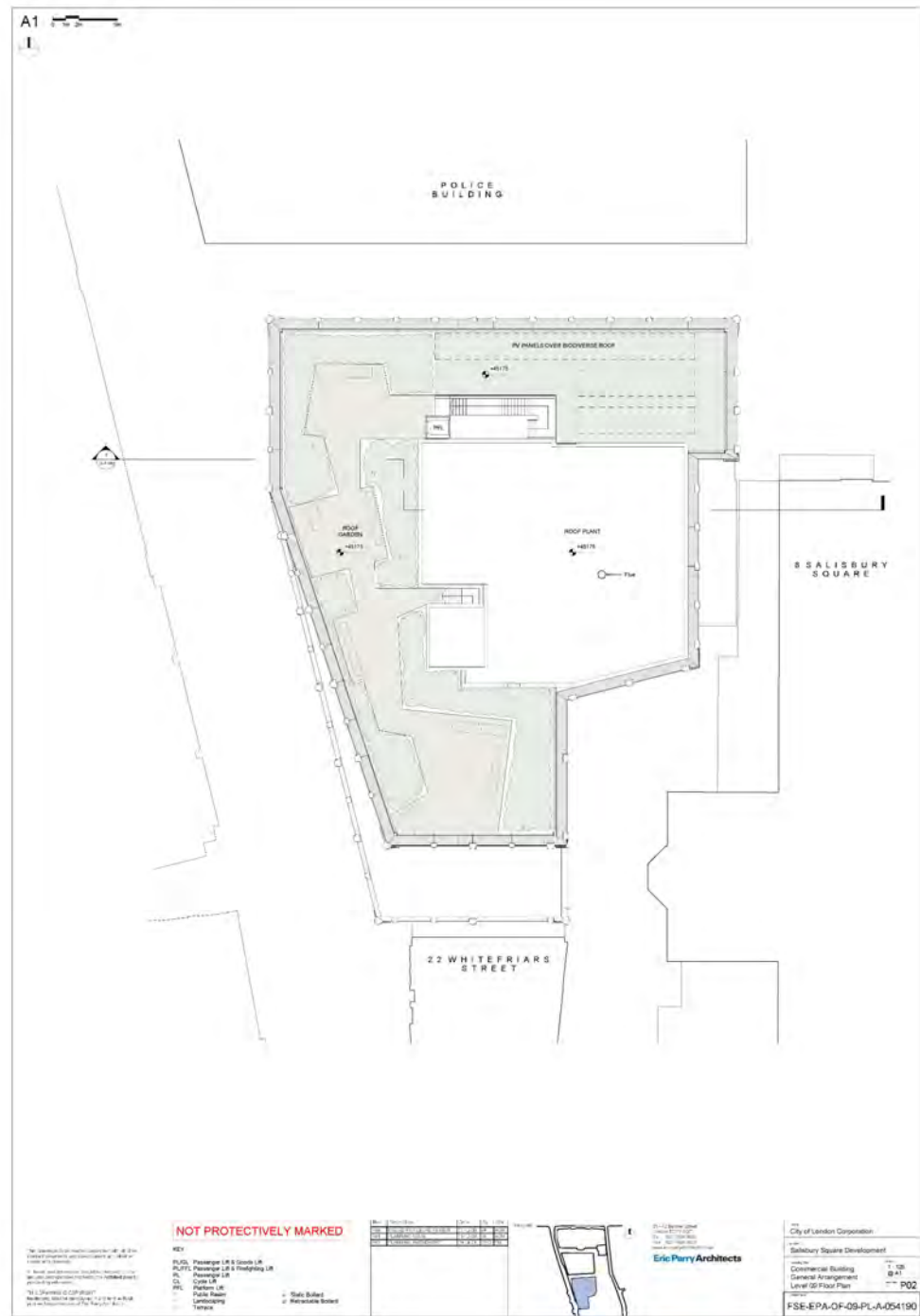


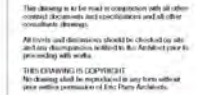






Proposed Level 6 Floor Plan





KEY

- 01 - Unglazed Terracotta
- 02 - Pigmented Precast Concrete - Polished
- 03 - Window - Hybrid Frame
(Inner Timber / Outer Dark Anodized Aluminum)
- 04 - Glazed Balustrade - Glass
- 05 - Glazed Balustrade - Translucent
- 06 - Anodized Perforated Metal Plant Screen
- 07 - Glazed Screen -
Dark Anodized Metal Frame
(Including Overhead Louvers to Retail Unit)
- 08 - Glazed Wall with Dark Anodized Frame
- 09 - Powder Coated Metal Louvre
- 10 - Dark Anodized Metal Louvre
- 11 - Powder Coated Metal Door/Gliding Panel
- 12 - Circular Sliding Entrance Door
- 13 - Decorative Metalwork Gate
- 14 - New Brick Gable Wall with Stone Coping
- 15 - New Brick Wall
- 16 - New Alleyway
- 17 - Roller Shutter -
Service Van Access

DOI	PLANTING/ISSUE	11-12-2017	23	ASR
DOI	SHARIF/PLANTING/ISSUE	11-12-2017	23	ASR
File	Enclosures	Date	By	Chk



100 - 400 Stewart Avenue
 Longview, NC 27958
 Tel: (252) 796-0400
 Fax: (252) 796-1441
www.singaporeair.com

Eric Parry Architects

City of London Corporation

Salisbury Square Development

Commercial Building
General Arrangement

North Elevation

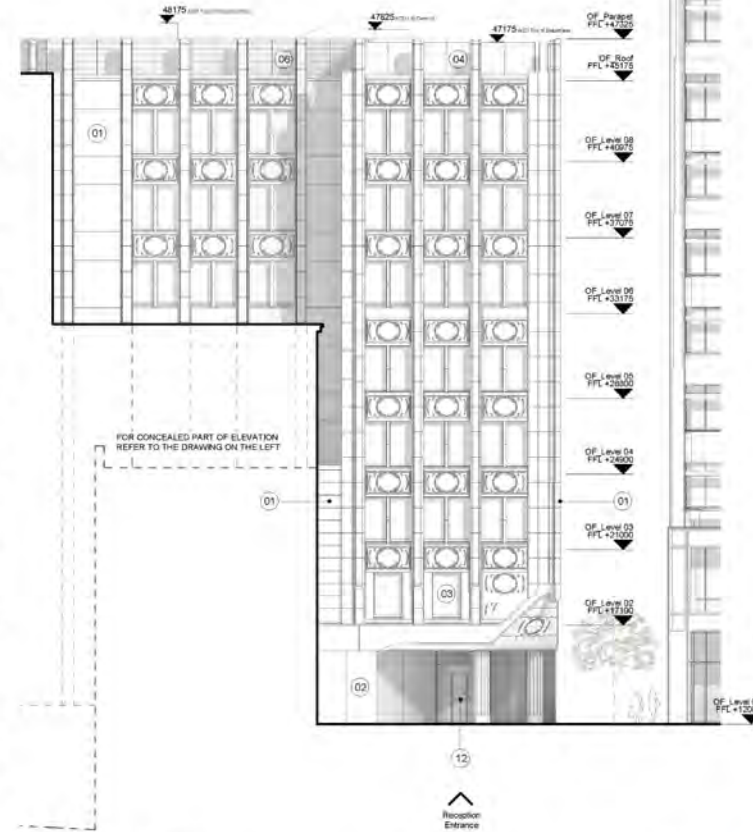
FSE-EPA-OF-ZZ-EL-A-054300

As indicated @ A1	P01
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A1



1
A-054320 General Arrangement East Elevation 1' 125



2
A-054320 General Arrangement East Elevation 1' 125

This drawing is to be read in conjunction with the other drawings in this set. It is not to be used in isolation. It is not to be used for construction purposes without the written consent of the architect.

Any dimensions shown on this drawing are to be used in conjunction with the other drawings in this set. It is not to be used for construction purposes without the written consent of the architect.

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NOT PROTECTIVELY MARKED

KEY

- 01 - Unglazed Terracotta
- 02 - Pigmented Precast Concrete - Polished
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- 13 - Decorative Metalwork Gate
- 14 - New Brick Gable Wall with Stone Coping
- 15 - New Brick Wall
- 16 - New Alleyway
- 17 - Roller Shutter - Service Yard Access



18 - 25 Market Place
London EC4A 3DF
Tel: 020 7555 5555
Fax: 020 7555 5555
www.ericparryarchitects.co.uk

Eric Parry Architects

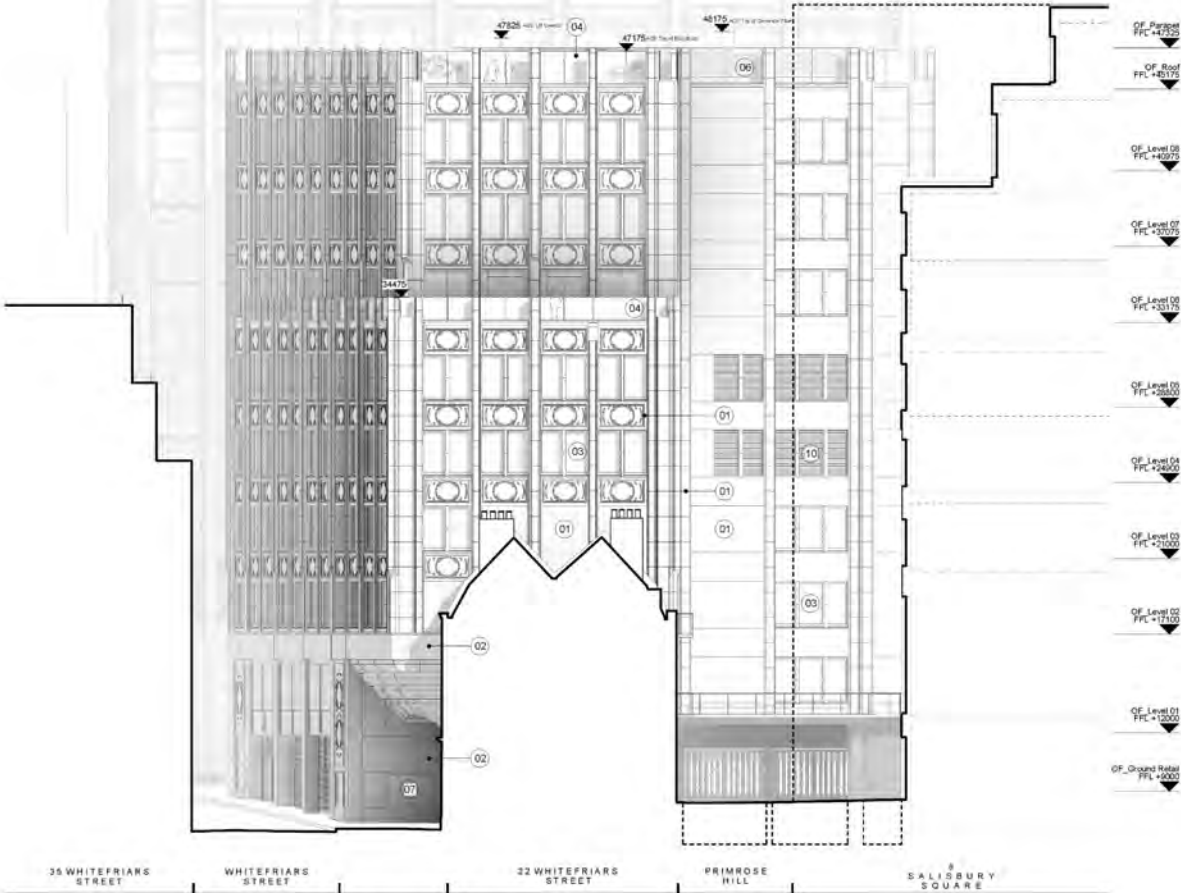
Client:
City of London Corporation

Project:
Salisbury Square Development

Drawing No:
Commercial Building
General Arrangement
East Elevation Salisbury Sq

As indicated
@ A1
P02

Drawn by:
FSE-EPA-OF-ZZ-EL-A-054320



This drawing is to be read in conjunction with the other contract documents and shall not be used in isolation.
It is the responsibility of the client to ensure that the drawing is used in conjunction with the other contract documents.
The drawing shall be read in conjunction with the other contract documents.
The drawing shall be read in conjunction with the other contract documents.

NOT PROTECTIVELY MARKED

- KEY
- 01 - Unglazed Terracotta
 - 02 - Pigmented Precast Concrete - Polished
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 - 14 - New Brick Gable Wall with Stone Coping
 - 15 - New Brick Wall
 - 16 - New Alleyway
 - 17 - Roller Shutter - Service Yard Access

Rev	Description	Date	By	Chk
01	Issue for Approval	12/11/2020	EP	EP
02	Issue for Construction	12/11/2020	EP	EP
03	Issue for Construction	12/11/2020	EP	EP



01 - 03 Salisbury Square
London EC4Y 3DF
Tel: 020 7183 1000
Fax: 020 7183 1001
www.ericparryarchitects.co.uk

Eric Parry Architects

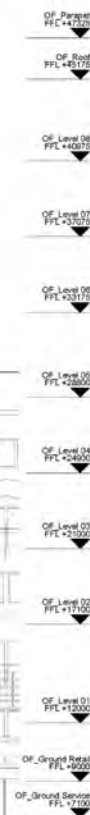
Client:
City of London Corporation

Project:
Salisbury Square Development

Drawing No:
Commercial Building
General Arrangement
South Elevation

As indicated
© A1
P02

FSE-EPA-OF-ZZ-EL-A-054340



NOT PROTECTIVELY
MARKED

- 01 - Unglazed Terracotta
- 02 - Pigmented Precast Concrete - Polished
- 03 - Window - Hybrid Frame
(Inner Timber / Outer Dark Anodized Aluminium)
- 04 - Glazed Balustrade - Clear
- 05 - Glazed Balustrade - Translucent
- 06 - Anodized Perforated Metal Plant Screen
- 07 - Glazed Screen -
Dark Anodized Metal Frame
(Including Overhead Louvers to Retail Units)
- 08 - Glazed Window with Dark Anodized Frame
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- 12 - Circular Sliding Entrance Door
- 13 - Decorative Metalwork Gate
- 14 - New Bricks Gable Wall with Stone Coping
- 15 - New Green Wall
- 16 - New Alleyway
- 17 - Roller Shutter -
Service Yard Access

PM1	PLANNING ASSIGNMENT	10.4-21	PO	Th
PM2	PLANNING ISSUE	11.12-20	PP	Fri
PM3	QUALITY OF LIFE REVIEW	17.12-21	OT	Mon
Rev	Department	Date	By	Chk

Key point: _____



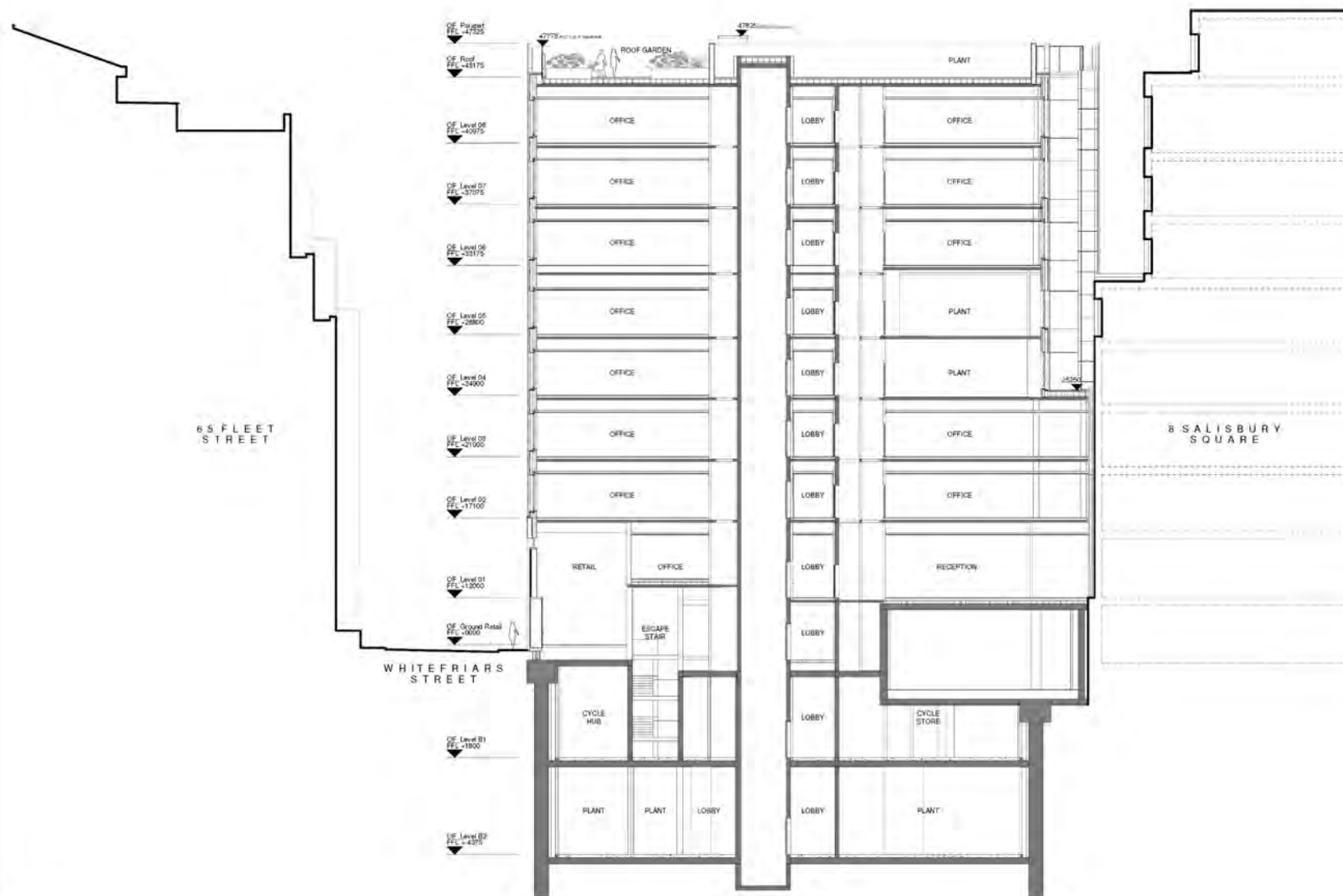
28-41 Bayview Mills
 London EC1V 9SP
 Tel: (020) 7566 4660
 Fax: (020) 7566 5693
www.wipacinterconnect.co.uk

Eric Parry Architects

Client	City of London Corporation
Project	Salisbury Square Development
Drawing title	Commercial Building General Arrangement West Elevation
Scale	As indicated A1
Sheet	P02

FSE-EPA-OF-ZZ-EL-A-054360

A1



This drawing is to be read in conjunction with all other contract documents and conditions and all other contractual drawings.
All levels and dimensions should be checked on site and any discrepancies notified to the Architect prior to proceeding with works.
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NOT PROTECTIVELY MARKED

REV	BY	DATE	DESCRIPTION
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Eric Parry Architects
City of London Corporation
Salisbury Square Development
Commercial Building
General Arrangement
Section AA
P01
FSE-EPA-OF-ZZ-SE-A-054400

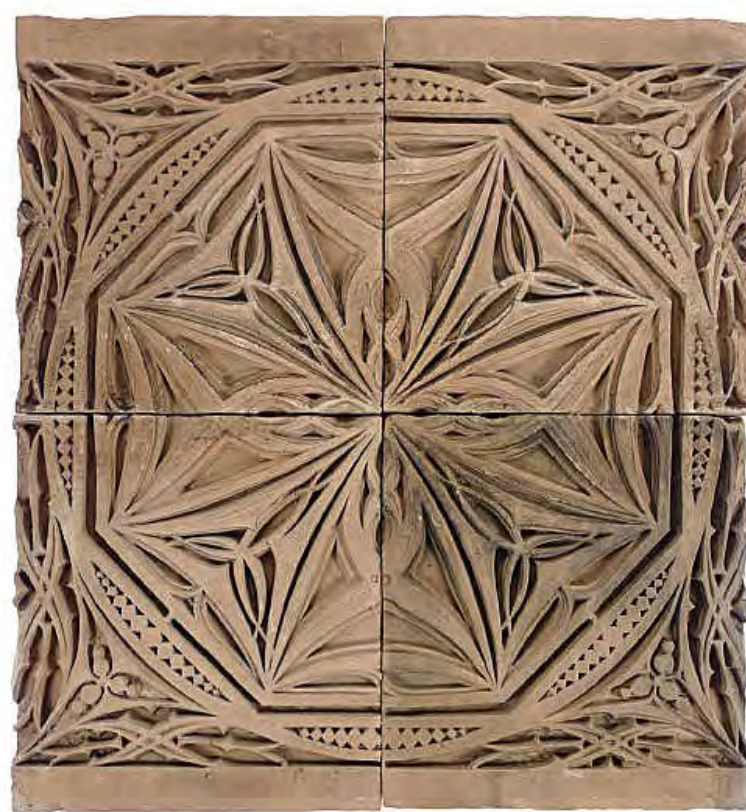


Commercial Building Roof Terrace



Materials

1. High Gloss Polished Precast Concrete
2. Unglazed Terracotta
3. Terracotta with High Gloss Finish
4. Anodised Aluminium



Ram-pressed Terracotta



St Nicholas Hotel, St louis Missouri.
Louis Sullivan 1893

Commercial Building Materials



View along Whitefriars Street





Commercial Building Façade Salisbury Square

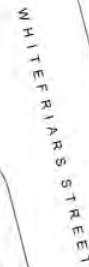


View along Carmelite Street

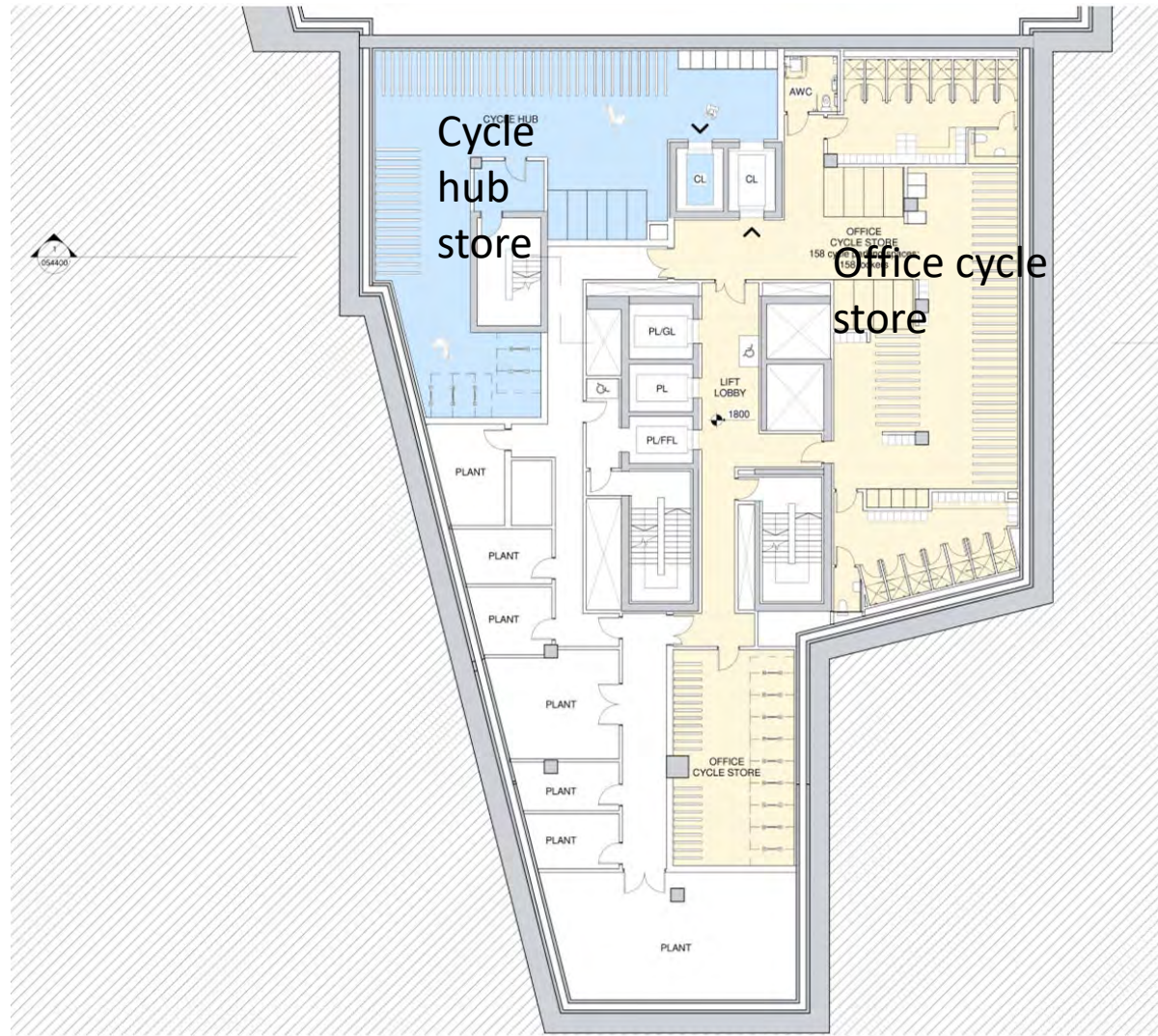
Short Stay Cycle Proposals



Proposed Southern Passage and Commercial Building Whitefriars Street Retail and Public Cycle Hub



The Commercial Building Retail and Cycle Hub entrances and layout



The Commercial Building Cycle Hub and Office cycle store layout lower ground level

Cycle Provision

Short Stay cycle spaces

In the public realm

58 Sheffield Stands

Total 116 Cycle Spaces

Public Cycle Hub

134 Double Tier Racks

14 Vertical Stands

21 Lockers

Total 169 Cycle Spaces

Total Provision 285 Short Stay public cycle spaces

Long Stay cycle spaces

Commercial Building 158 spaces

Police Building 140 spaces

Court Building 21 spaces

Retail unit 2 spaces

Public House 7 spaces



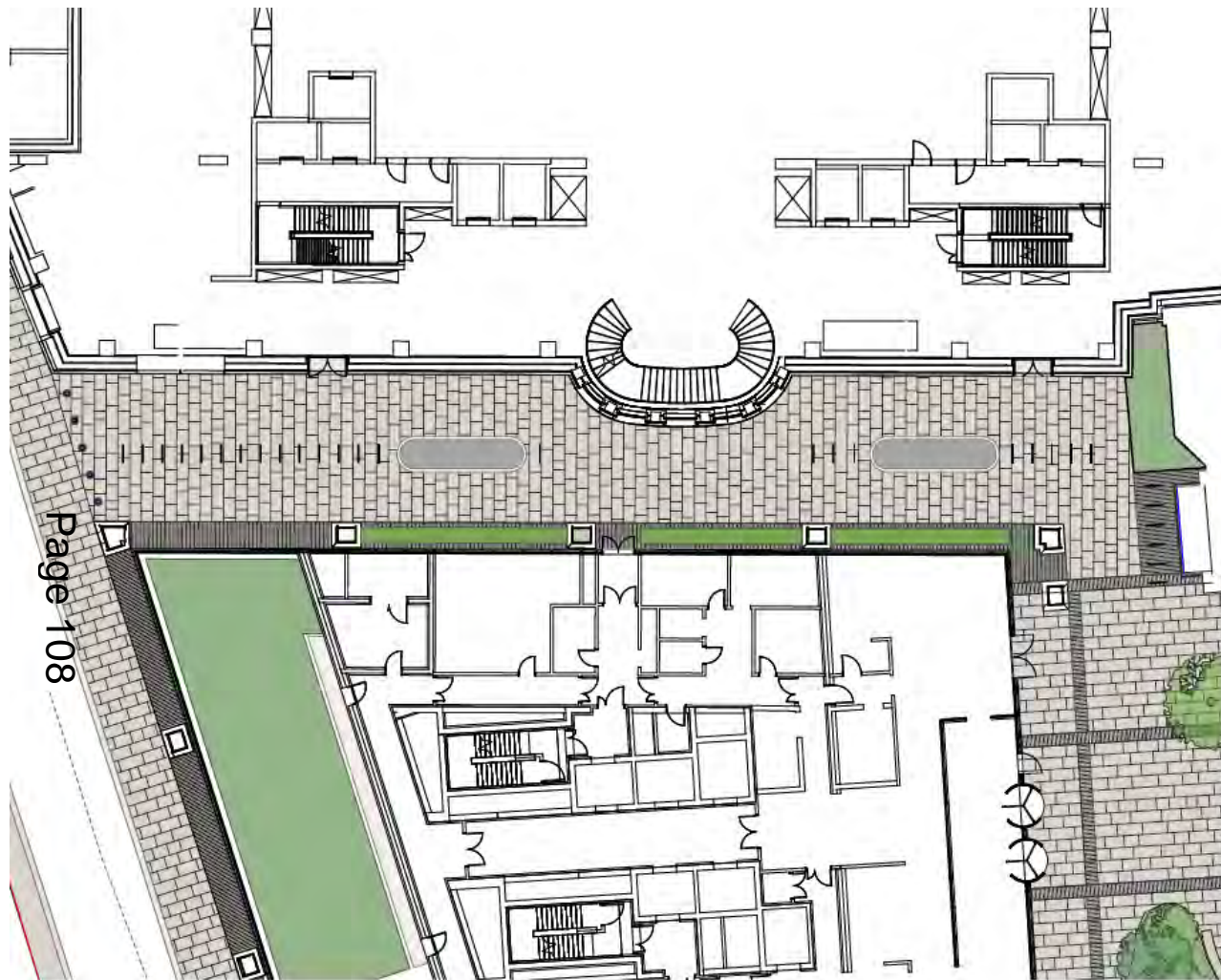
Proposed Public Realm





Proposed Salisbury Square





Proposed Northern Passage





Southern Passage



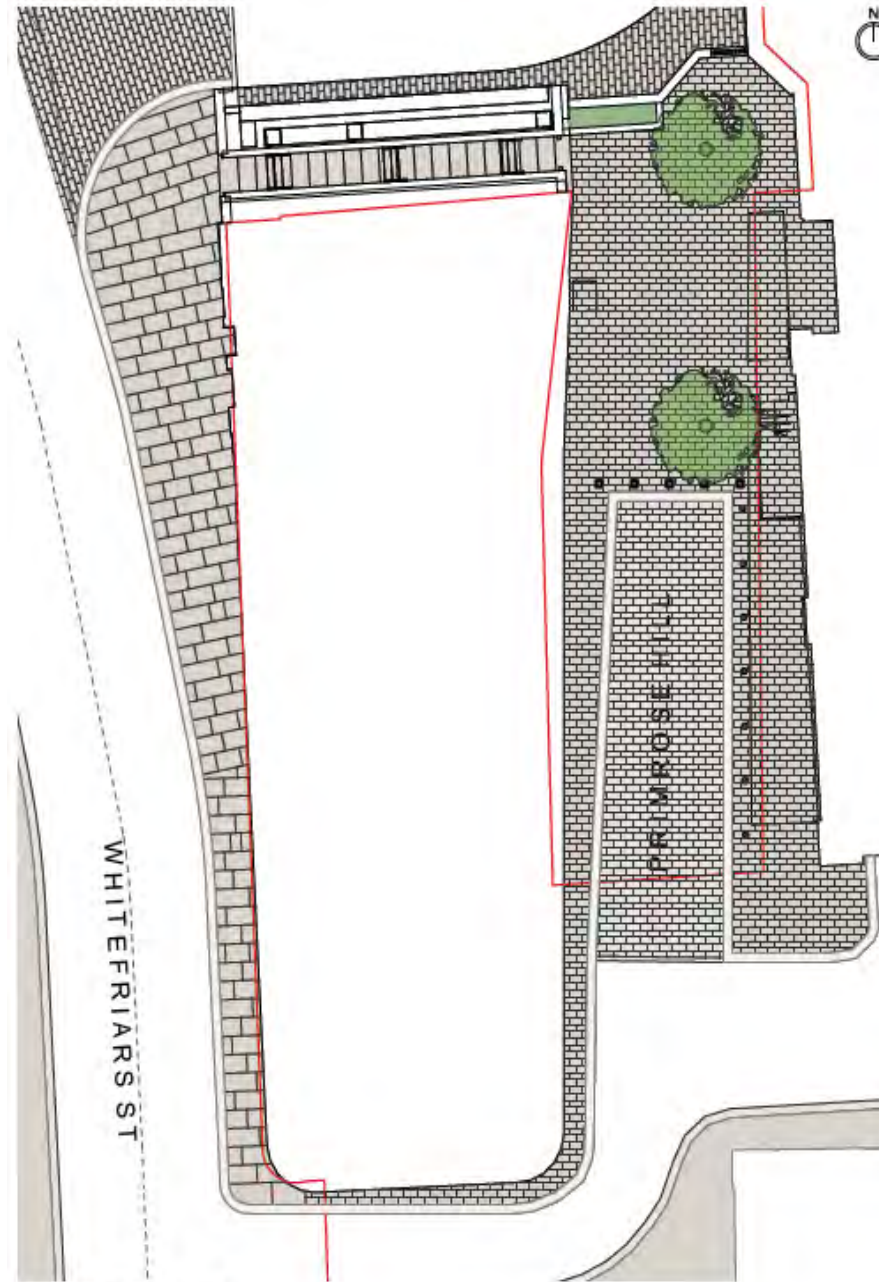
South passage section



BOLLARDS GREEN WALL LIFT YORKSTONE STEPS UKPN TREES WITH UNDERPLANTING GRANITE SLABS YORKSTONE SLATS



New permissive path



Primrose Hill and The Harrow pub



The Harrow pub



Existing rear of the pub in Primrose Hill

LVMF and Townscape Views













































managed view

id:

Page

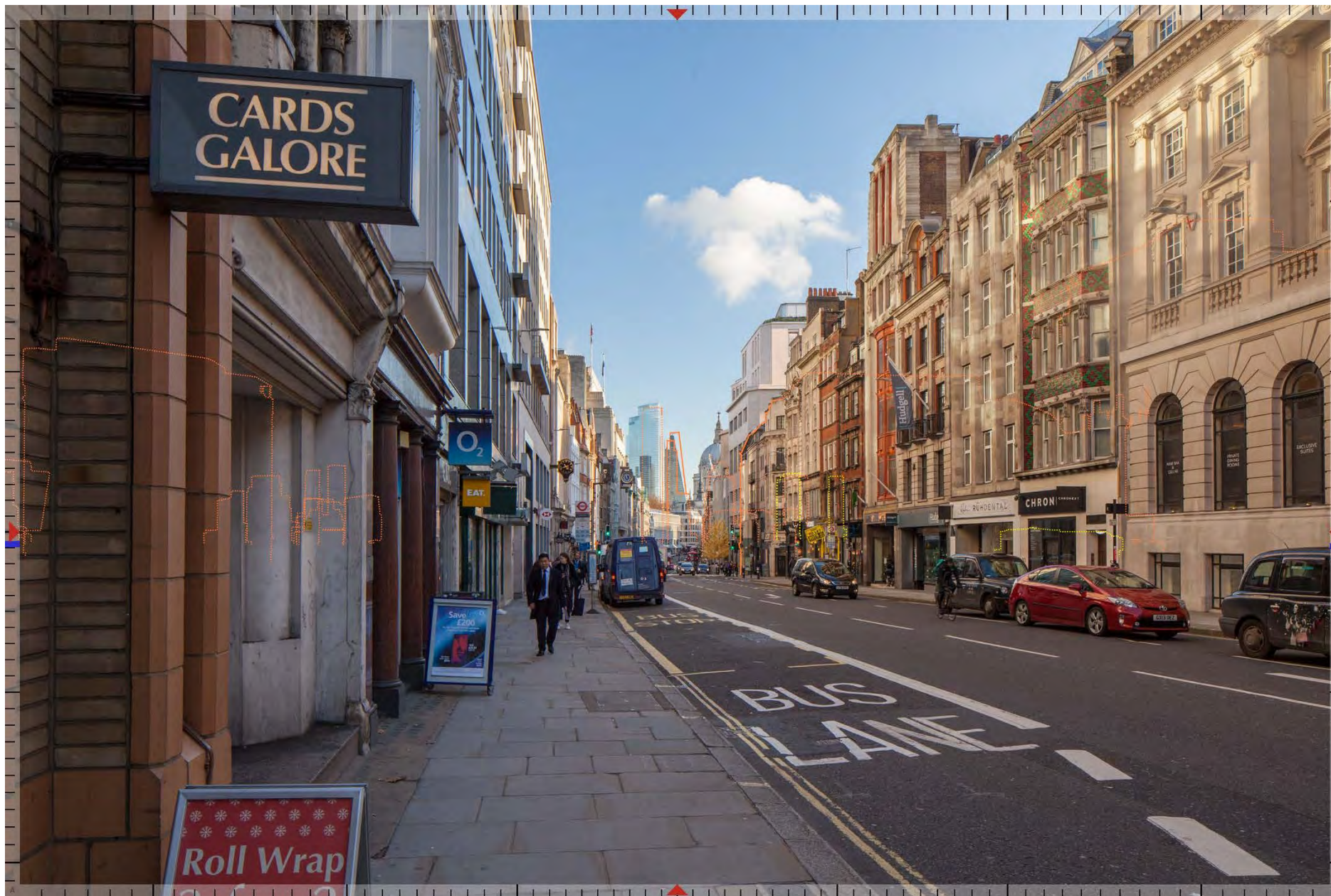
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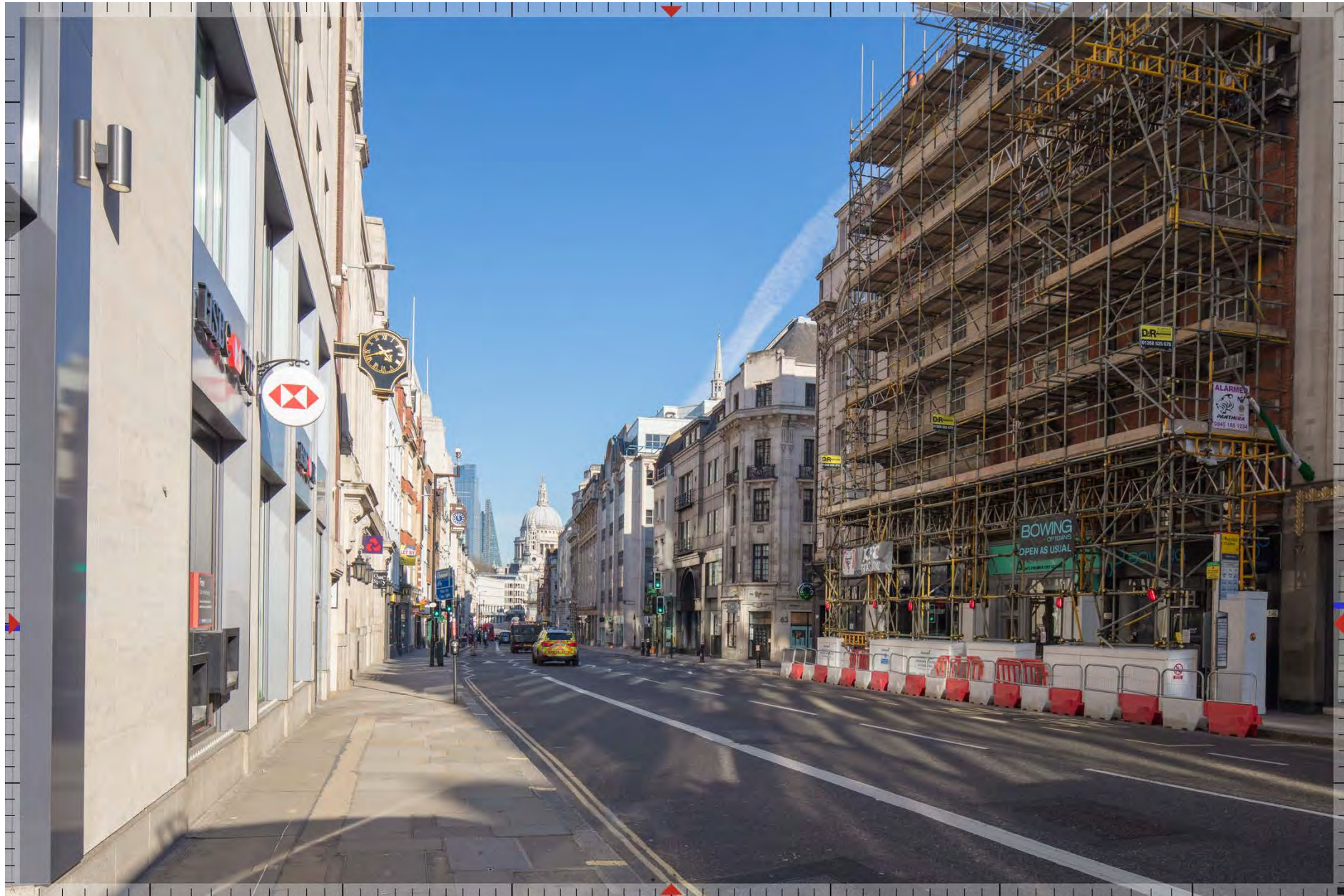


3626_0381 version 200909 | View 15D | Northeast quadrant of Ludgate Circus towards St Bride's spire























2-7 Salisbury Court 20/00998/LBC



Nos 6-7

Nos 4-5

Nos 2-3



1-7 Salisbury Court 1878 by Peebles

Existing 2-7 Salisbury Court and original 1878 engraving













Existing Ground Plan and proposed demolition



01 LOWER GROUND FLOOR PLAN, AS PROPOSED
SCALE 1:50 @ A1, 1:100 @ A3



DO NOT SCALE FROM THIS DRAWING
DRAWING TO BE USED IN CONJUNCTION WITH ALL OTHER DOCUMENTS
AND SPECIFICATIONS. ANY DISCREPANCIES SHALL BE RESOLVED TO THE ADVANTAGE OF THE
CLIENT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND
LOCATIONS OF EXISTING STRUCTURES AND SERVICES PRIOR TO CONSTRUCTION.
ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.

- Existing Removed (listed building)
- Existing Removed (other buildings)
- Existing Fabric retained

NOTE: Carefully remove cast iron columns and securely store on site for re-use.

NOT PROTECTIVELY MARKED

0 1 2 3 4 5 METRES
SCALE 1:50 (A1)
SCALE 1:100 (A3)

REV. DATE BY/APP'D
10/11/2020 JG/APP'D

FOR PLANNING

PROJECT
SALISBURY SQUARE DEVELOPMENT
2-7 SALISBURY COURT
ADDRESS
LOWER GROUND FLOOR PLAN
DEMOLITION AS PROPOSED
DATE 10/11/2020
DRAWN BY JG
SCALE 1:50 @ A1, 1:100 @ A3
DATE 10/11/2020
DRAWN BY JG

RICHARD GRIFFITHS ARCHITECTS
3 Mark Lane, 72-74 Borough High Street, London SE1 1NA
T +44 (0)20 7300 1000 F +44 (0)20 7300 1001
E richard@griffiths-architects.com W www.griffiths-architects.com

 New Fabric

 Existing Fabric

RICHARD GRIFFITHS ARCHITECTS
5 Middlemore House, 73-75 Borough High Street, London SE1 1UG
T +44(0)20 7367 6796 | F +44(0)20 7403 7367
E info@rgriffiths.com | www.rgriffiths.com

Proposed Lower Ground Plan



A horizontal scale bar with markings at 0, 1, 2, 3, 4, and 5. Below the bar, the text reads "SCALE 1:50 (A1)" and "SCALE 1:100 (A3)". To the right of the bar, the word "METRES" is written.

FD-302	Rev. 10-6-95
10-11-2000	Revised by: [Signature]

FOR PLANNING

10/15/17
 SALISBURY SQUARE DEVELOPMENT
 2-7 SALISBURY COURT
 10-10-17
 FIRST FLOOR PLAN
 DEMOLITION AS PROPOSED

DATE	DESCRIPTION	BY
5/9/17	D133	P01
5/9/17	1:1000 A3	5/9/17
5/9/17	1:1000 A3	5/9/17

RICHARD GRIFFITHS ARCHITECTS
5 Meads on Meers, 72-76 Borough High Street, London SE1 1QN
T +44(0)20 7357 6155 | F +44(0)20 7602 7007
E admin@richardgriffiths.com | www.richardgriffiths.com



 New Fabric

 Existing Fabric

DOI: 10.1002/for
 0950-0804/02/050301-12

FOR PLANNING

SALISBURY SQUARE DEVELOPMENT
2-7 SALISBURY COURT

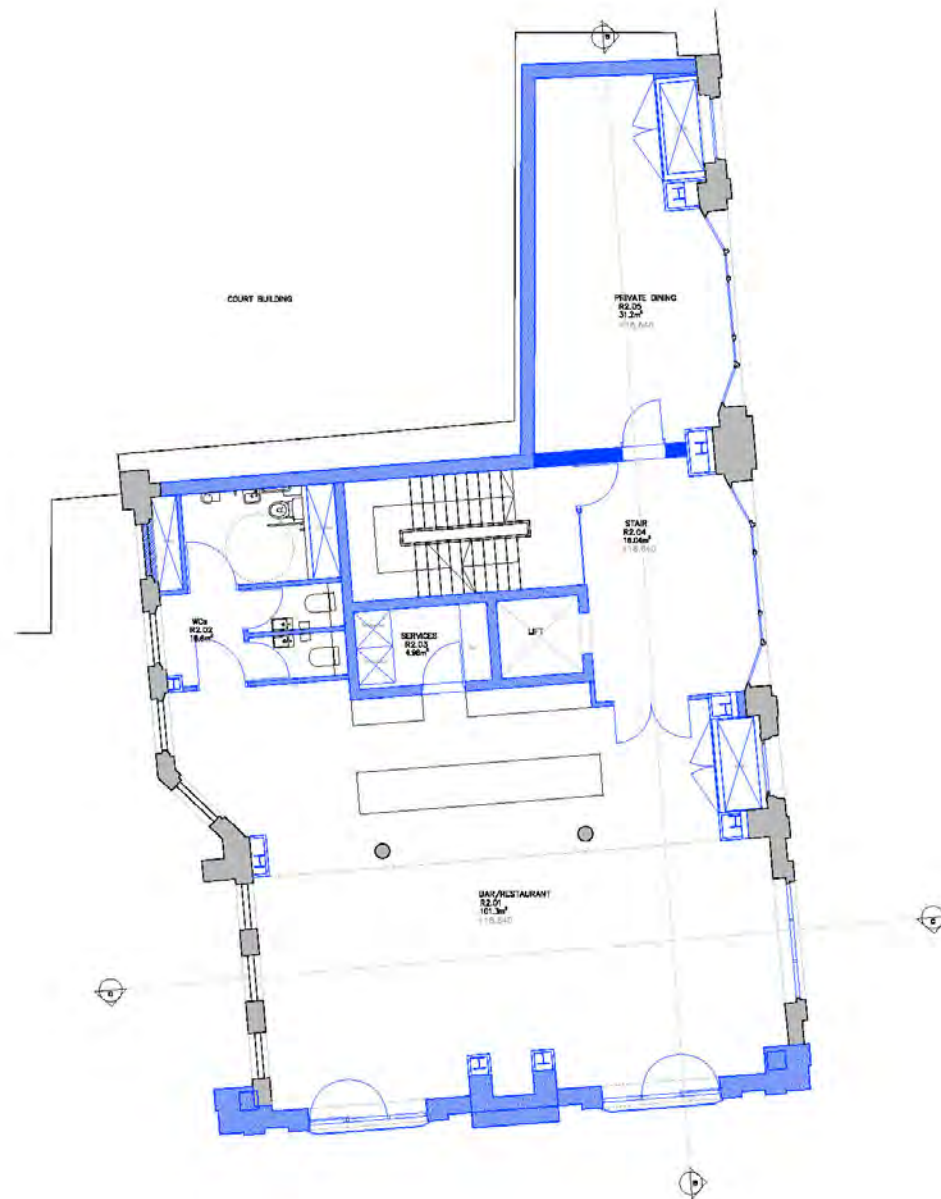
FIRST FLOOR PLAN
AS PROPOSED

DATE: 06/7 **SCALE:** D81 **NO:** P01

ISSUED BY: BMT **APPROVED BY:** 1:100 **DATE:** DEC 2020

RICHARD GRIFFITHS ARCHITECTS
5 Middlemore House, 75-76 Borough High Street, London SE1 1NA
T +44(0)20 7367 6700 | F +44(0)20 7403 7907
e rich@griffiths.com | www.griffiths.com



[illegible]

01 THIRD FLOOR PLAN, AS PROPOSED
SCALE 1:50 @ A1, 1:100 @ A3



DO NOT SCALE FROM THIS DRAWING
DRAWING TO BE USED IN CONSULTATION WITH ALL OTHER ARCHITECTS
AND ENGINEERS CONTRACT DOCUMENTS SPECIFICALLY
AND IN ALL CASES MUST BE BROUGHT TO THE ATTENTION OF THE
ARCHITECT AND ENGINEER
THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AT SITE
AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND ENGINEER
CONTRACTOR
EXISTING MATERIALS AND PRODUCTS TO BE REMOVED MUST BE
ACCEPTEDLY PROVEN TO BE OF GOOD QUALITY AND PERFORMANCE
BEFORE BEING RE-USED ON SITE
NOTE
HATCHES USED TO THIS DRAWING ARE REFERENCED TO OTHER
ARCHITECTS' DRAWINGS WITHIN THE NEXT BOX

Existing Removed (listed building)
Existing Removed (other buildings)
Existing Fabric retained

NB Carefully remove cast iron columns and securely store on site for re-use

NOT PROTECTIVELY MARKED

0 1 2 3 4 5
SCALE 1:50 (A1)
SCALE 1:100 (A3) METRES

NO. LAY 001/15/2020
SUBMITTAL
Issued for Planning

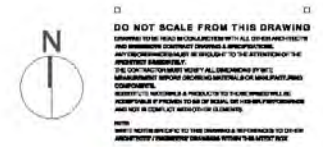
FOR PLANNING


PROJECT
SALISBURY SQUARE DEVELOPMENT
2-7 SALISBURY COURT
DEVELOPER
THIRD FLOOR PLAN
DEVELOPER AS PROPOSED


DATE 20/11/2020
BY CHD
SCALE 1:50 @ A1, 1:100 @ A3

DATE 20/11/2020
BY CHD
SCALE 1:50 @ A1, 1:100 @ A3

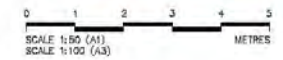
RICHARD GRIFFITHS ARCHITECTS
20th Floor, 72-74 Borough High Street, London SE1 1JH
T +44(0)20 7337 8765 F +44(0)20 7337 7867
E richard@griffiths.com W www.griffiths.com



 New Fabric

 Existing Fabric

NOT PROTECTIVELY
MARKED



REVISED: 11/2005
FOR: Planning

FOR PLANNING

SALISBURY SQUARE DEVELOPMENT
2-7 SALISBURY COURT

THIRD FLOOR PLAN

AS PROPOSED

527 0705

Scale of 1:100

RICHARD GRIFFITHS ARCHITECTS

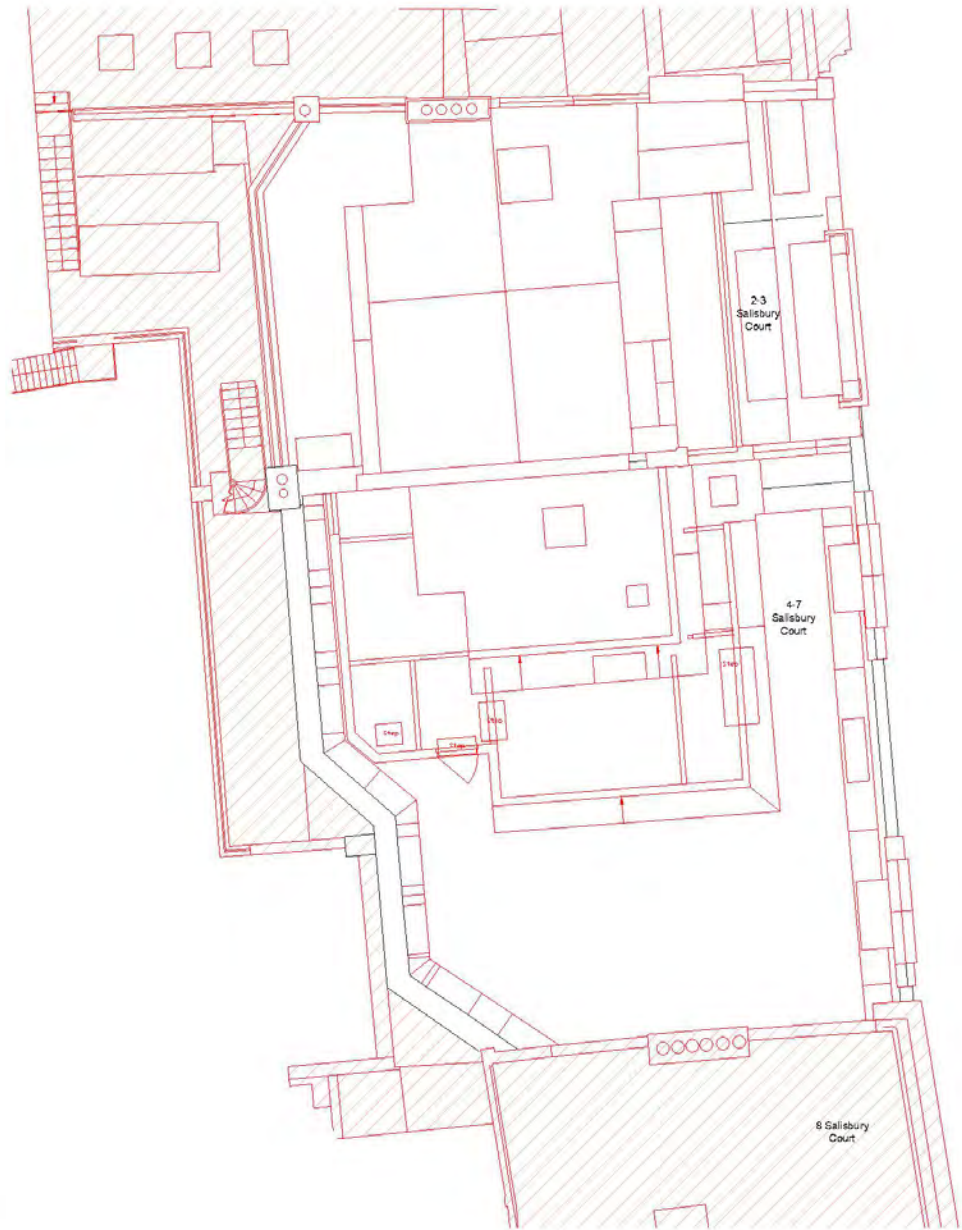
5 Midlake Mews, 75-76 Borough High Street, London SE1 1NN

T +44(0)20 7307 8700 | F +44(0)20 7433 7007
E info@spordbooks.com | www.spordbooks.com

□ □



01 FOURTH FLOOR PLAN, AS PROPOSED
SCALE 1/32 @ A1, 1/100 @ A2



01 ROOF PLAN, AS PROPOSED
SCALE 1:50 (A1)
SCALE 1:100 (A3)

DO NOT SCALE FROM THIS DRAWING
DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER ARCHITECTURAL
DRAWINGS AND SPECIFICATIONS. ANY SCALE PROVIDED MUST BE SUBJECT TO THE ATTENTION OF THIS
PROJECT ARCHITECT.
THE CONTRACTOR MUST VERIFY ALL DIMENSIONS BY SITE
MEASUREMENT. A CHECK FOR DIMENSIONAL ACCURACY MUST BE
COMPLETED.
ALL DIMENSIONS SHALL BE SUBJECT TO THE DIMENSIONS OF THE
EXISTING FABRIC. DIMENSIONS TO BE OF THE EXISTING FABRIC
AND NOT IN CONFLICT WITH OTHER DIMENSIONS.

NOTE
THE DIMENSIONS OF THIS DRAWING ARE REPRESENTATIVE OF THE
EXISTING FABRIC. DIMENSIONS TO BE OF THE EXISTING FABRIC
AND NOT IN CONFLICT WITH OTHER DIMENSIONS.

LEGEND
Existing Removed (listed building)
Existing Removed (other buildings)
Existing Fabric retained

NOT PROTECTIVELY MARKED

0 1 2 3 4 5
SCALE 1:50 (A1)
SCALE 1:100 (A3) METRES

Rev. No. 001
Rev. Date 10/11/2020
Rev. Reason for Planning

FOR PLANNING

PROJECT
SALISBURY SQUARE DEVELOPMENT
2-7 SALISBURY COURT
ROOF PLAN
DEMOLITION AS PROPOSED

Rev.	Date	Rev.
001	01/08	001
002	11/08/20	002
003	11/08/20	003

DATE 11/08/2020

RICHARD GRIFFITHS ARCHITECTS
15 Mark Lane, 75-76 Borough High Street, London SE1 1LN
T +44 (0)20 7357 8788 F +44 (0)20 7452 7887
E richard@griffiths.com | www.griffiths.com





Proposed demolition section







The Waithman Memorial 20/00996/LBC



Existing Salisbury Square



Existing Location



Proposed Location



Waithman Memorial existing location in Salisbury Square



Proposed location for Waithman Memorial Salisbury Square

Public Benefits

A Centre for Justice

- New Flagship Combined Court Specialising in Cybercrime, one of the fastest rising crime
- The first 'Court of the Future' as part of HMCTS reform and transparent justice programme.
- 8 Crown, 5 Magistrates, 5 Civil courts to assist HMCTS in dealing with the backlog of cases.

Policing the Square Mile and beyond

- New state of the art policing facilities
- CoL Police are the national force on Economic Crime
- Police building conceived as a community building.
- Saves the Grade II* listed Wood Street Police Station and grade II Snow Hill Station from significant harm.

New High-Quality Workspaces

- BCO Grade A office space to further enhance workspace provision in the area

Sustainable Growth

- Part of the City's plan for dramatic growth over the next 20 years, in order to maintain the City's status as a leading international centre for financial and professional service. These pieces of civic infrastructure facilitate this growth.

Livable City

- The enlarged high quality Public Realm provides connections to existing network of green spaces
- A new public house in the listed building
- Improved access, cycle transport connections.

Secure City

- Incorporates the latest counter terrorism design recommendations from CPNI (Centre for the Protection of National Infrastructure)

Sustainable City

- Net Zero Carbon in Operation
- Urban Greening Factor of 0.3
- Full provision of short and long stay cycle parking
- Highly Sustainable façade building fabric with Design Life beyond 125 Years
- Exceeds the Sustainable Criteria required by the New London Plan.
- Breeam Excellent and Well Gold Certification
- Ground Source Heating and Cooling / Photovoltaics / Rainwater Harvesting

Public Benefits Statement



Public Benefits Statement
Produced by Gerald Eve'
A 30-page document as part of the
planning submission

Sustainability

Sustainability Strategy - Summary



Generate renewable electricity with PV panels on roofs



Reduce solar gains with shading and low glazing proportions



Reduce heat loss with optimised and well insulated façades



BREEAM Excellent for law courts, police and offices



Reduce embodied carbon with efficient design



Adaptable spaces and robust materials to extend building life



Low-carbon site-wide heat network with GSHP and ASHP



Smart energy systems to reduce peak demand



Harvest and reuse rainwater to meet demand on-site



Promote cycling with storage spaces and a public cycle hub



Reduce heat island effect with green roofs

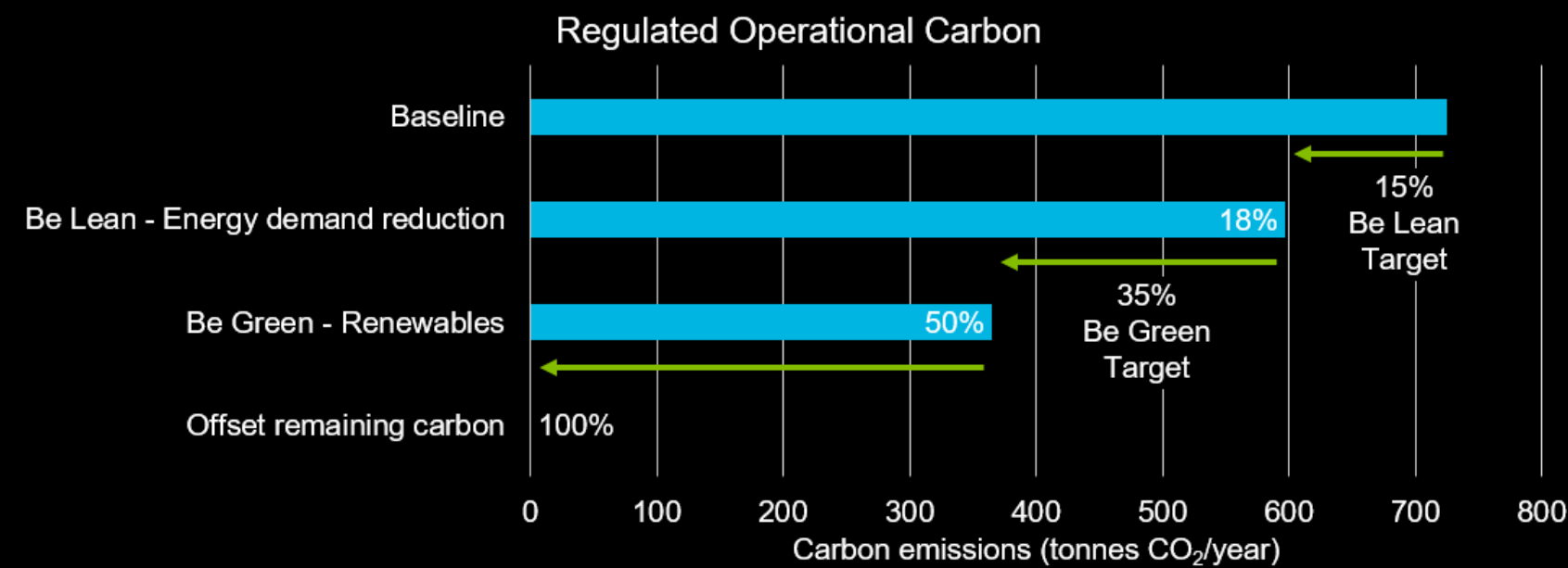


Enhance biodiversity with new trees and green spaces

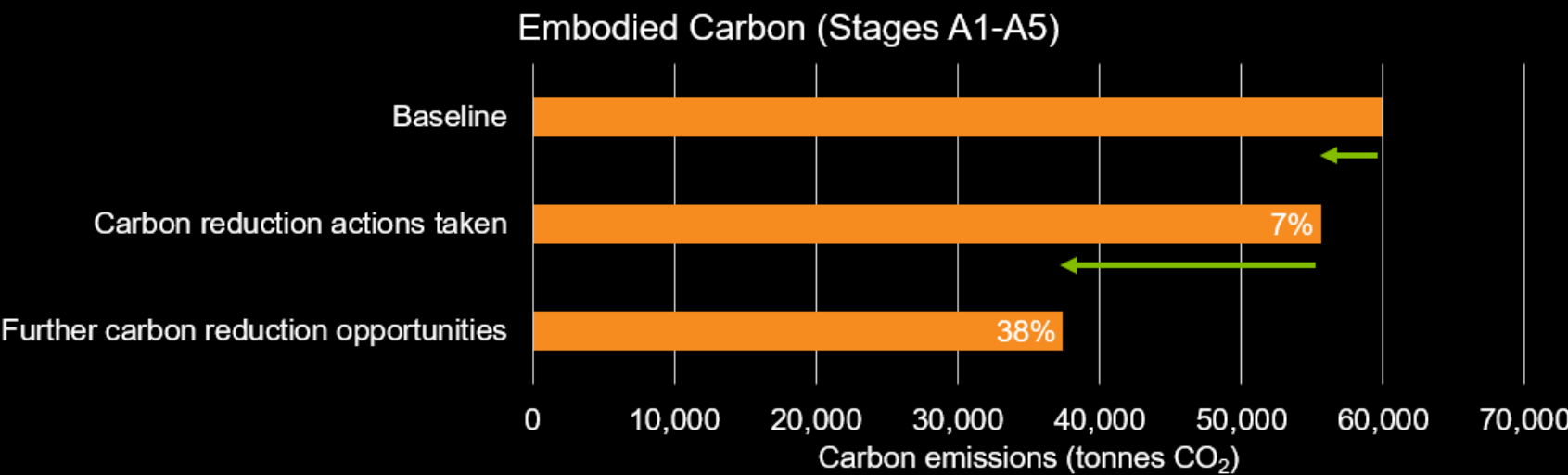


Design for climate resilience and adaptation

Whole Life-Cycle Carbon Emissions



- Carbon emissions reduced by 18% from energy efficiency measures alone, beyond the GLA target of 15%.
- Total carbon emissions reduced by 50% with PV panels and low-carbon heating using GSHP and ASHP, beyond the GLA target of 35%.
- Remaining regulated carbon will be offset to zero.



- Actions taken to reduce embodied carbon with efficient structural approach and low-carbon GGBS cement replacement.
- Further opportunities identified through procuring low-carbon steel, manufactured using electric arc furnace.

Highly sustainable development

Net Carbon Neutral in operation

Fabric led sustainable strategy with passive energy reduction

- Highly durable facades – in excess of 125 years
- Highly insulated external fabric
- Depth of façade for solar shading
- Glazing Ratios
- high performance glazing

Renewable Energy systems

- Ground source heating / cooling systems
- All electric strategy – no burning of fossil fuels
- Photovoltaic panels
- Rainwater harvesting

Maximized Landscape and Biodiversity

- Public realm landscaping
- Rooftop garden landscapes
- Urban Greening Factor target of 0.3

Certification

- Breeam excellent
- Wellness Gold enabled.
- 35% improvement on part L
- Incorporation of 3 years post occupancy 'soft landings assessment'







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