



OUTLINE DESIGN PROPOSALS

FOR QUEENS PARK TOILET BLOCK

AT QUEENS PARK, KINGSWOOD AVENUE, LONDON NW6 6SG

FOR THE CITY OF LONDON

OCTOBER 2018

Contents

Purpose of Study and Brief Requirements	3
Site Location	4
Design Proposals	5
Formal Cost Plans	6
Schedule of Works	8
Programmes	9
Further investigation Required	10
Statutory Approvals	11
-----	12
Appendix A: Brief	
Appendix B: Photographs	

Date	Revision	Prepared by	Reviewed by
19/10/2018	S2.A - Client Issue	DJ	SP

Purpose of Study and Brief Requirements:

Playle & Partners LLP were initially approached by the City of London in February 2017 to investigate the feasibility of an extension, to provide a self contained Unisex Wheelchair Accessible WC with baby changing facilities, to their existing Toilet block facilities in the children's play area at Queen's Park.

One of the main purposes for providing the additional toilet provision is to create an easier and safe access to a WC directly from the Children's playground. The existing arrangement is such that a parent and child would need to exit the playground area to use the WC's. This process becomes ever more complicated when a parent is supervising more than one child. Following the initial site visit, Playle & Partners put forward three options for the Client's consideration, along with an accompanying design report.

Playle & Partners were then approached again in September 2018 with a new brief to reevaluate the designs and provide revised proposals for refurbishment or new build, along with associated costs. Two options for both refurbishment and new build were presented to the client, with one of each chosen to be carried forward.

Both the refurbishment and new build options are to improve the quality of the facilities within the park, as well as the ease of use and access from the Children's playground. The external finishes have also been reviewed, with proposals to improve the aesthetic of the building through the use of green walls and timber cladding.

Other Items Considered:

- The proposed internal finishes and specification will match the recently refurbished WC facilities located at the Queen's Park cafe.
- Whilst the park itself is located within a conservation area the existing WC block is not a listed building.
- The contractor will need to allow for a specialist team to install the green wall and sedum roof.



Address:

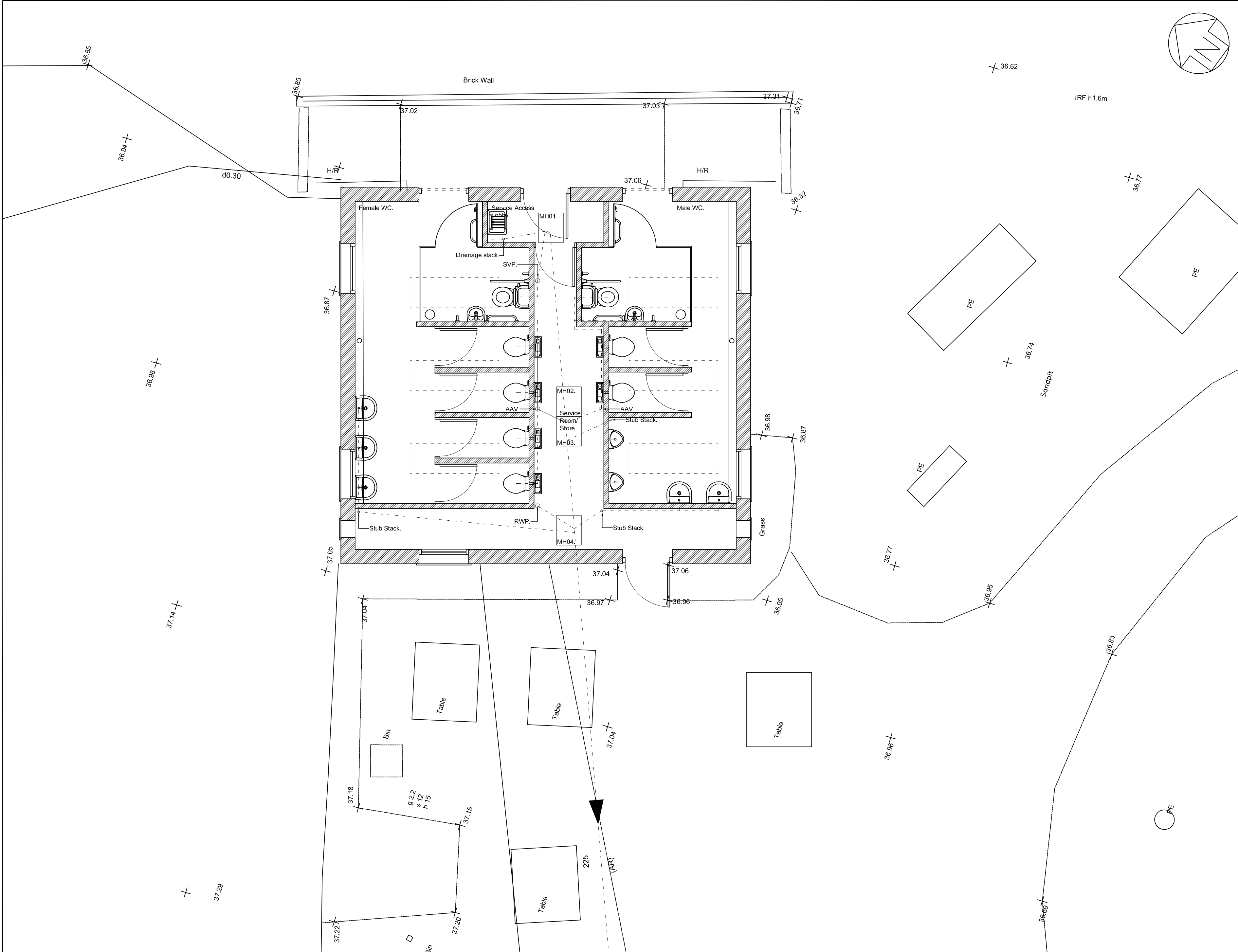
Queen's Park,
Kingswood Avenue,
London,
NW6 6SG

Queen's Park is a 30 acre park situated in northwest London between Kensal Green, Brondesbury Park and Kilburn. It is bounded by Harvist Road to the South, Chevening Road to the north, Milman Road to the west and Kingwood Avenue to the east. The park forms a part of focus for the neighbouring terraced Victorian and Edwardian Houses. The park lies within the London Borough of Brent. The park and the surrounding streets are in the Conservation Area.

SITE LOCATION

- 9578-00-1100-S2.A - Existing Layout
- 9578-ZZ-1201-S2.A - Existing Elevations
- 9578-00-1101-S2.A - Demolition Layout
- 9578-00-3101-S2.C - Proposed Layout - Refurbishment Option A
- 9578-00-3201-S2.A - Proposed Roof Layout - Refurbishment Option A
- 9578-ZZ-3201-S2.B - Proposed Elevations - Refurbishment Option A
- 9578-00-3103-S2.E - Proposed Layout - New Build Option A
- 9578-00-3203-S2.A - Proposed Layout - New Build Option A
- 9578-ZZ-3203-S2.D - Proposed Elevations - New Build Option A

DESIGN PROPOSALS



NOTES:

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REV	COMMENT	DATE

PLAYLE & PARTNERS LLP
CONSTRUCTION & PROPERTY CONSULTANTS

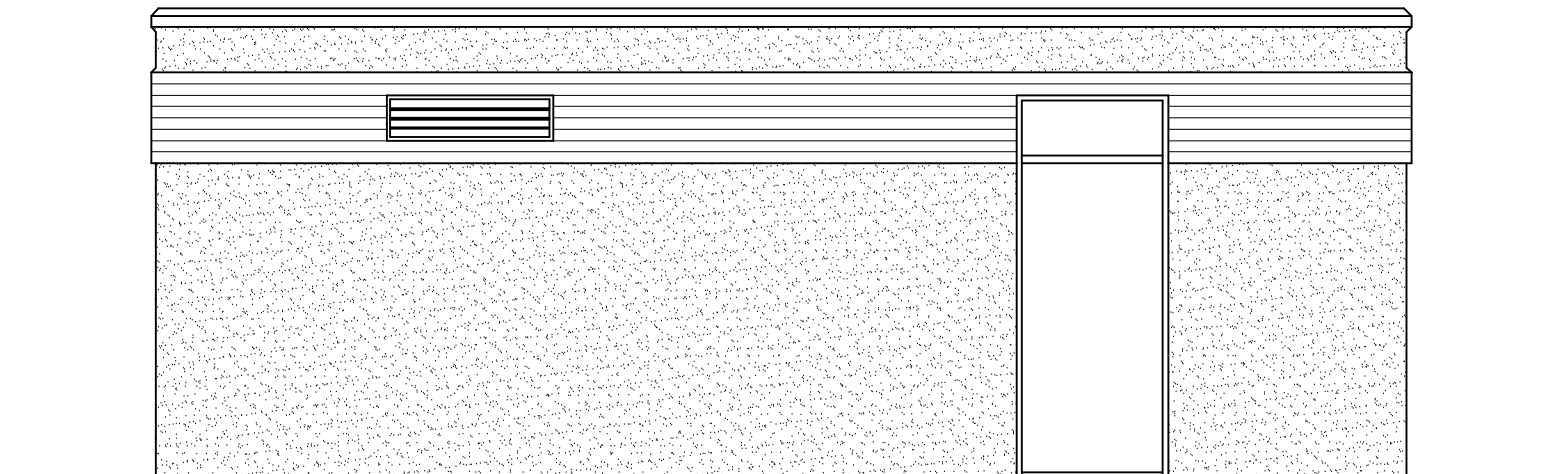
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Telephone 020 8300 6811 • Fax 020 8300 2260
Email sidcup@playleandpartners.co.uk

**Extension to Toilet Block,
Queens Park, Kingswood
Avenue, London, NW6 6SG**

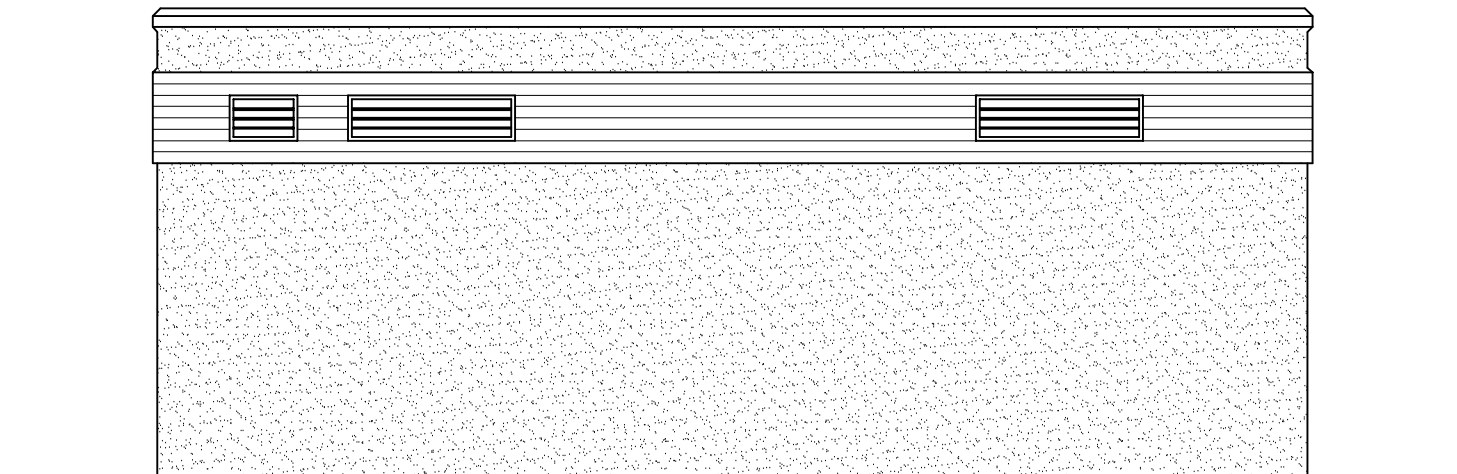
Existing Layout

City of London

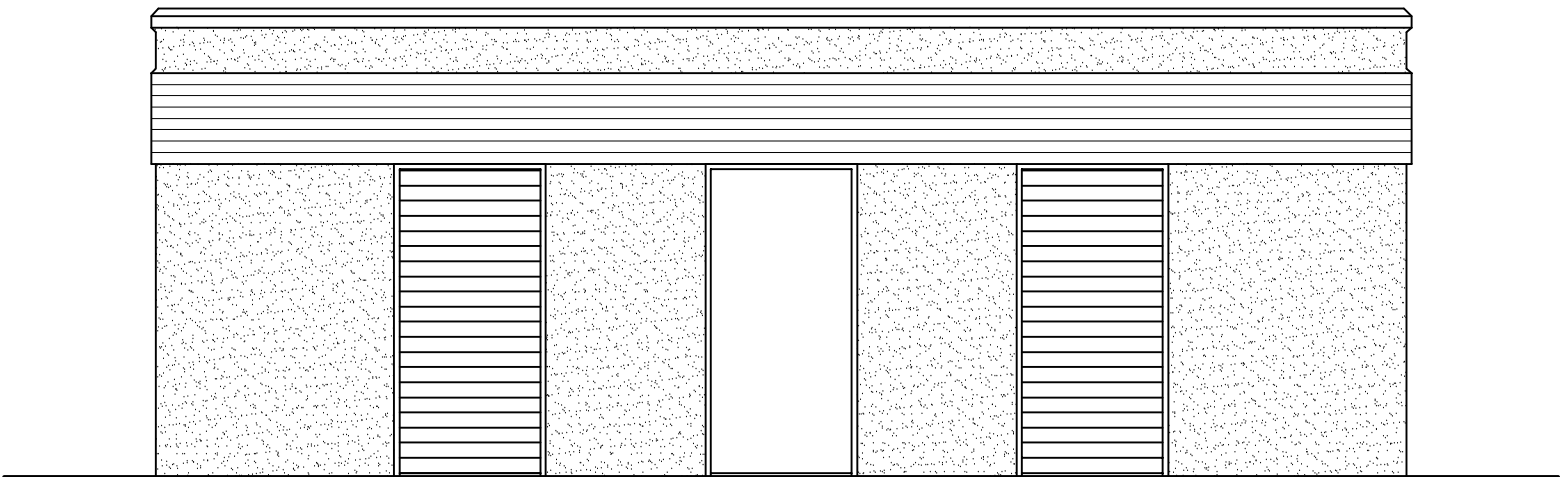
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DATE 29/09/2018	SCALE 1:50 @ A2
DWG No. 9578-00-1100-S2	REV. A



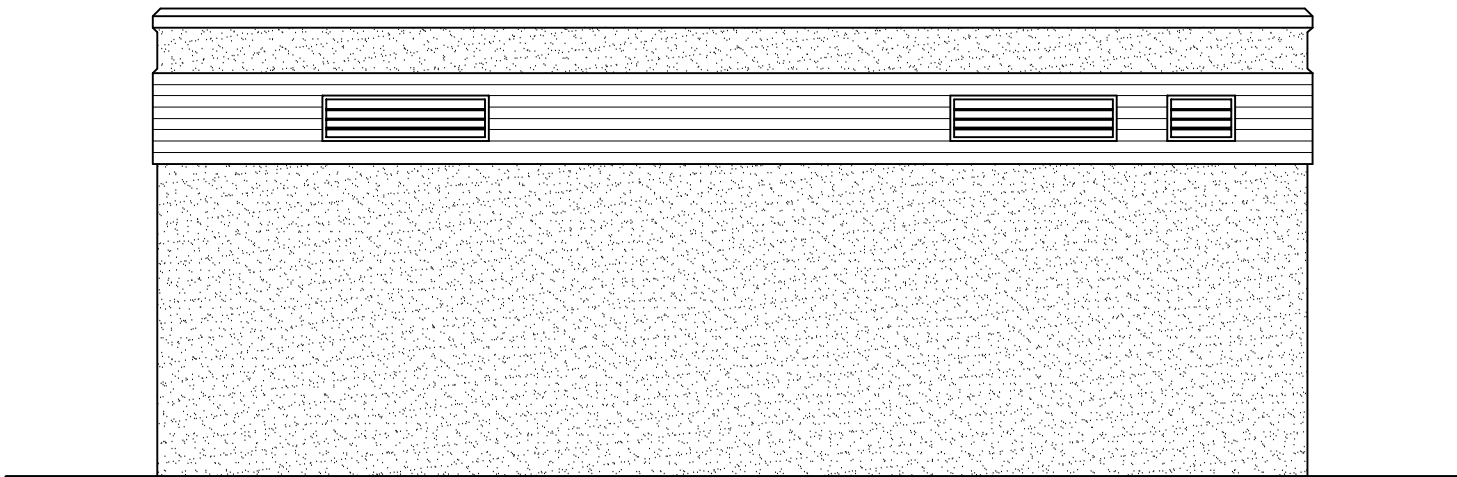
SOUTH WEST ELEVATION



SOUTH EAST ELEVATION



NORTH EAST ELEVATION



NORTH WEST ELEVATION

NOTES:

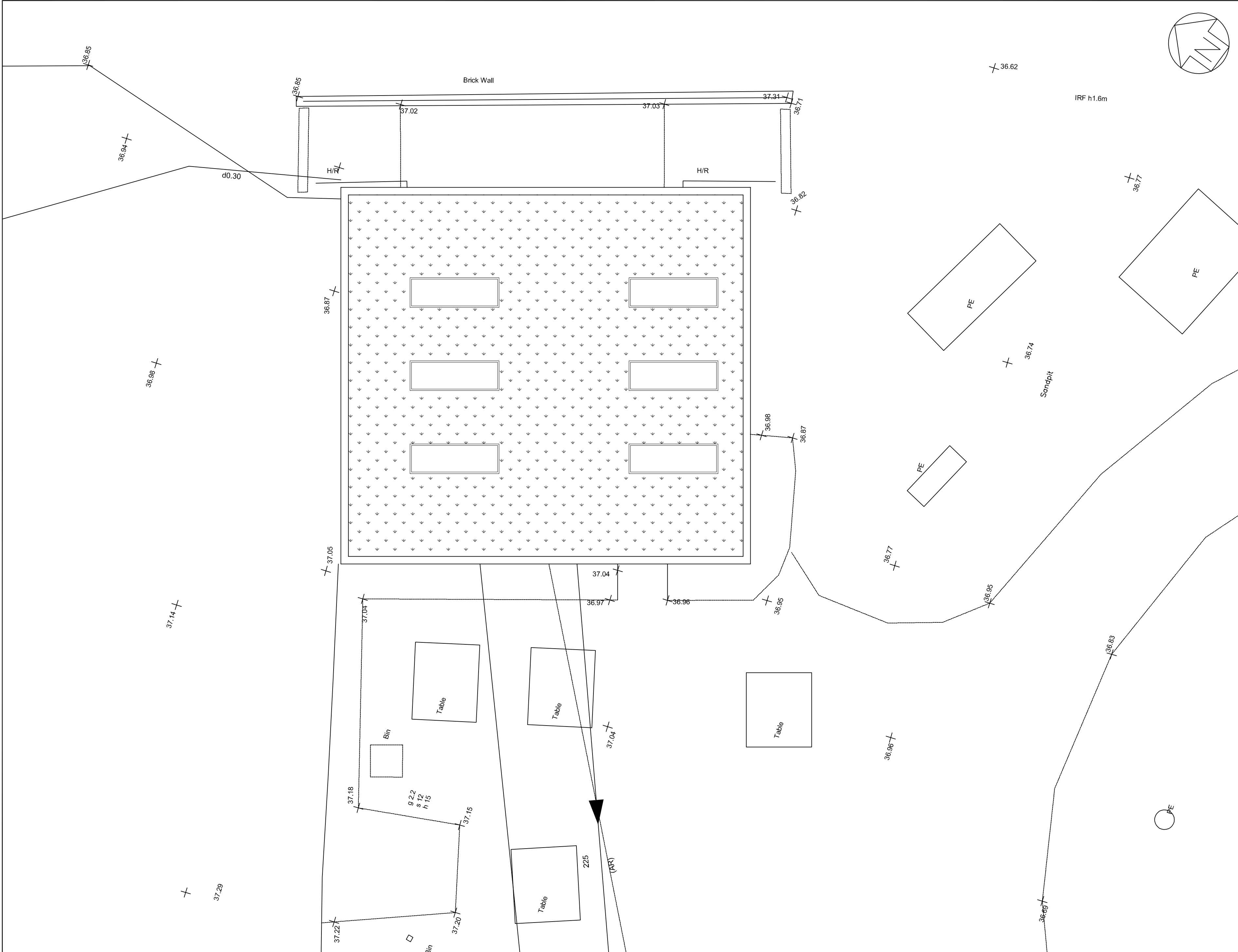
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PROJECT	Extension to Toilet Block, Queens Park, Kingswood Avenue, London, NW6 6SG	
TITLE	Existing Elevations	
CLIENT	City of London	
DRAWN	DJ	CHECKED
DATE	26/09/2018	SCALE 1:50 @ A2
DWG No.	9578-ZZ-1200-S2	REV. A



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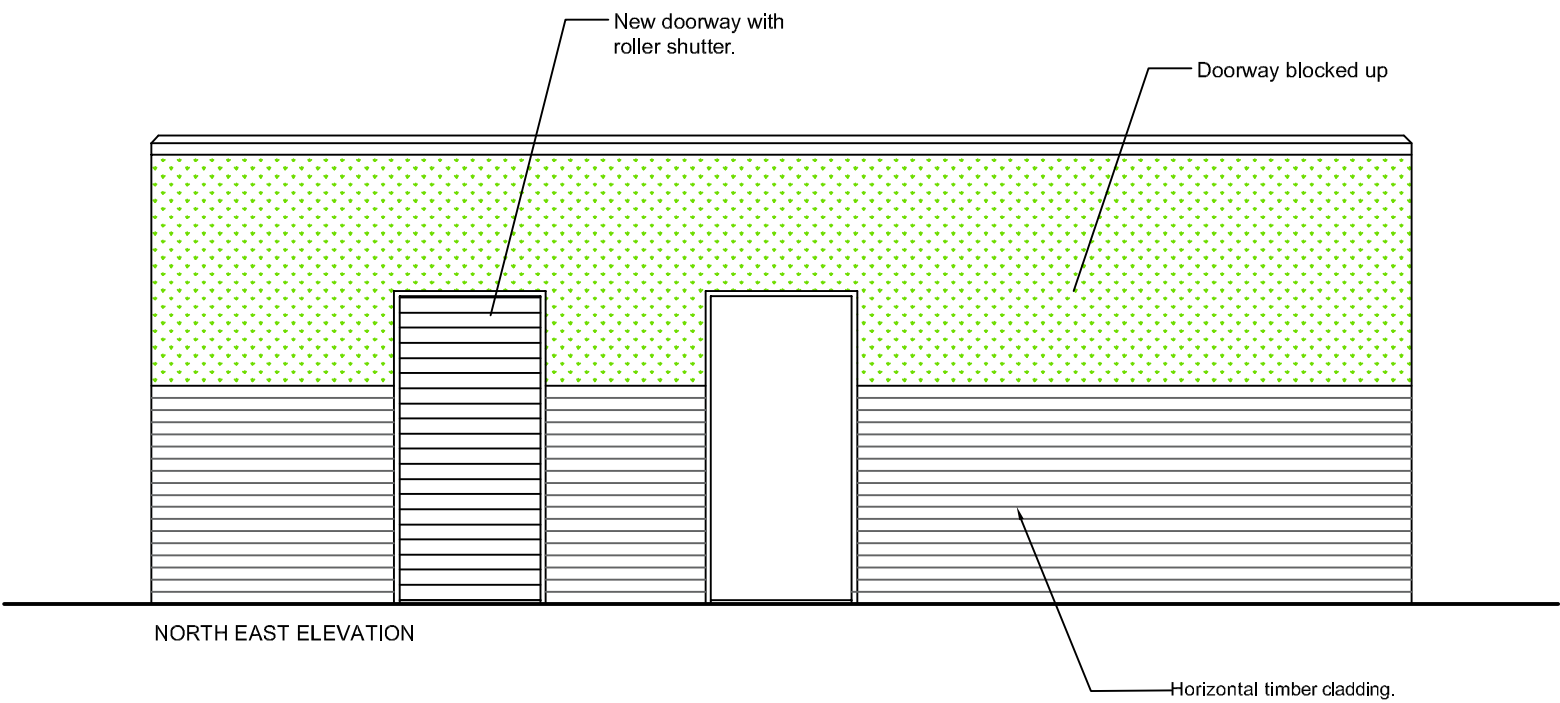
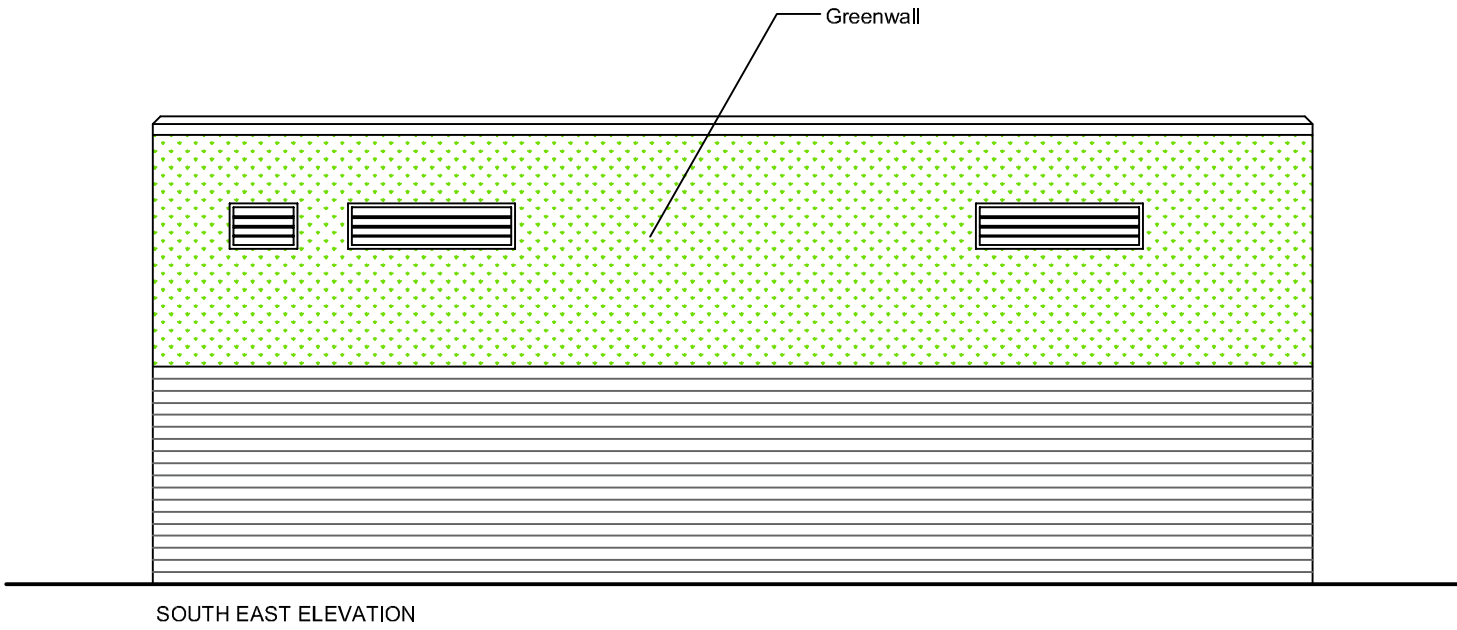
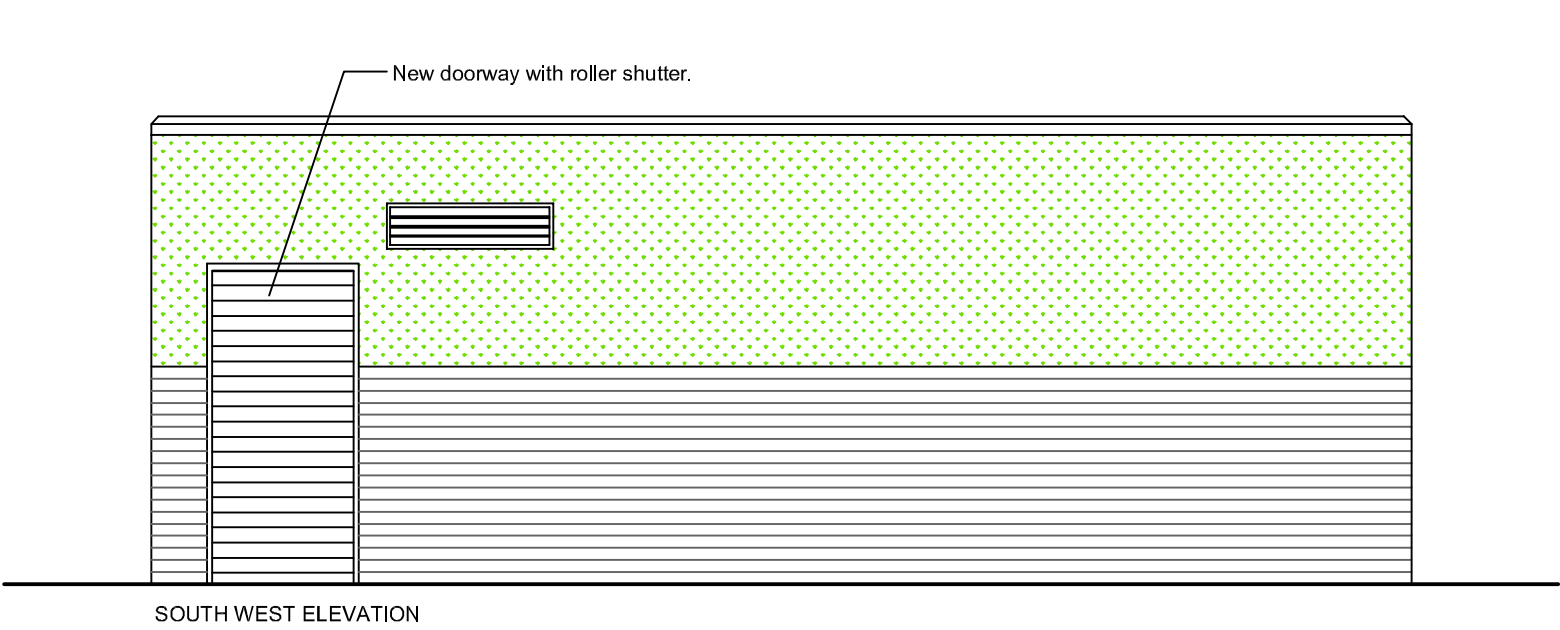
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A	Draft for client comment	16/10/18
REV	COMMENT	DATE
<p>PLAYLE & PARTNERS LLP CONSTRUCTION & PROPERTY CONSULTANTS</p> <p>Crest House • 138 Main Road • Sidcup • Kent DA14 6NY Telephone 020 8300 6811 • Fax 020 8300 2260 Email sidcup@playleandpartners.co.uk</p>		
PROJECT	<p>Extension to Toilet Block, Queens Park, Kingswood Avenue, London, NW6 6SG</p>	
TITLE	<p>Proposed Roof Layout - Refurbishment Option A</p>	
CLIENT	<p>City of London</p>	
DRAWN	DJ	CHECKED
DATE	16/10/2018	SCALE 1:50 @ A2
DWG No.	9578-01-3101-S2	REV. A



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B	Layout update following client's comments	02/10/18
A	Draft for client comment	28/09/18
REV	COMMENT	DATE

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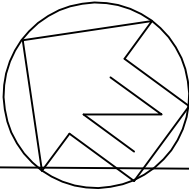
**Extension to Toilet Block,
Queens Park, Kingswood
Avenue, London, NW6 6SG**

**Proposed
Refurbishment Elevations
A**

City of London

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26/09/2018	1:50 @ A2
DATE	SCALE

9578-ZZ-3201-S2	B
DWG No.	REV.



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REV	COMMENT	DATE
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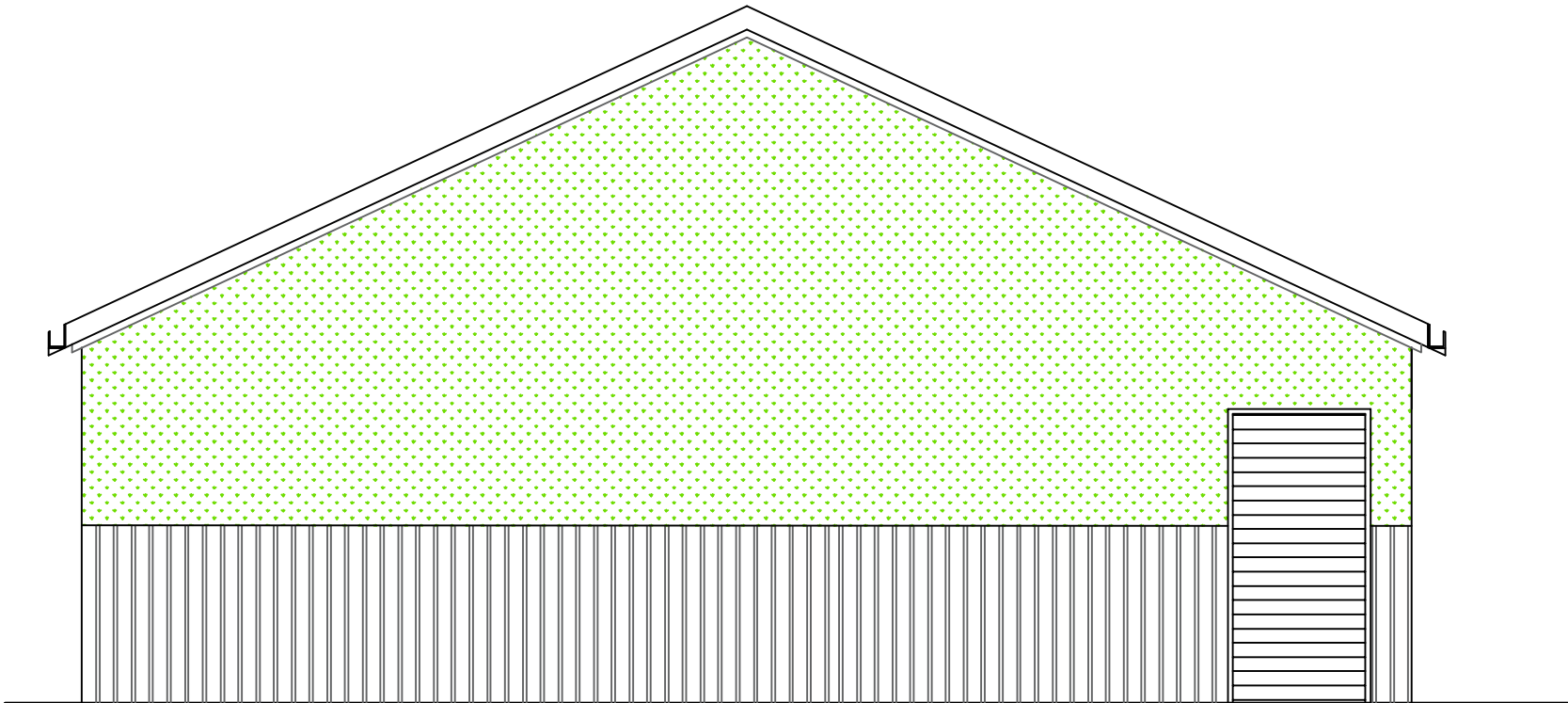
**Extension to Toilet Block,
Queens Park, Kingswood
Avenue, London, NW6 6SG**

Proposed Roof Layout - New Build Option A

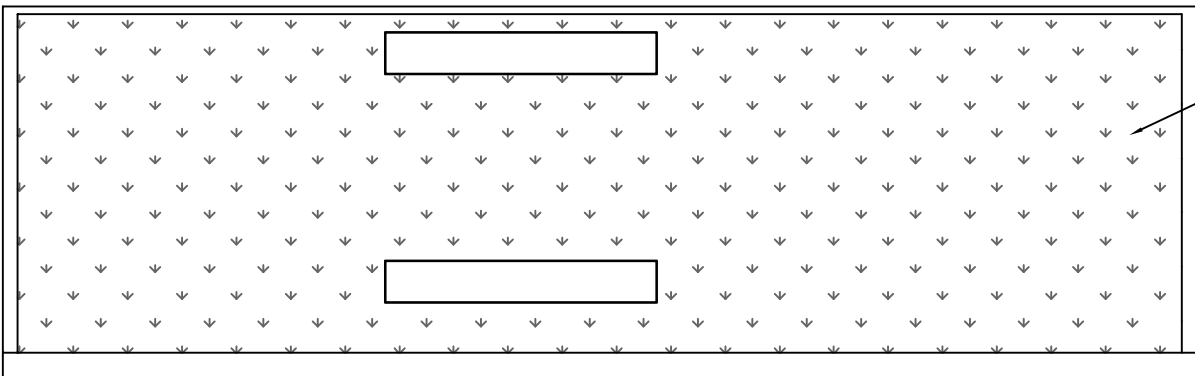
City of London

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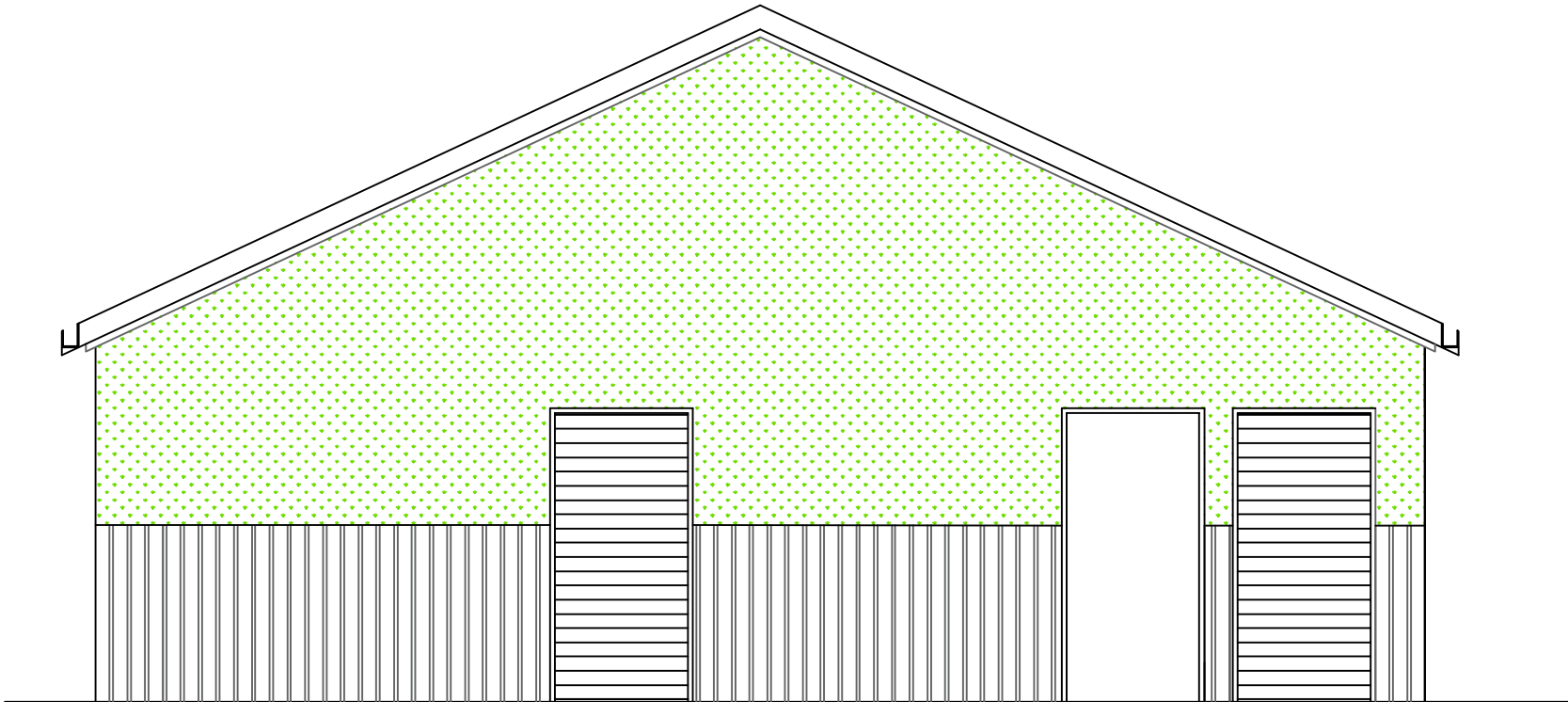
9578-00-3103-S2



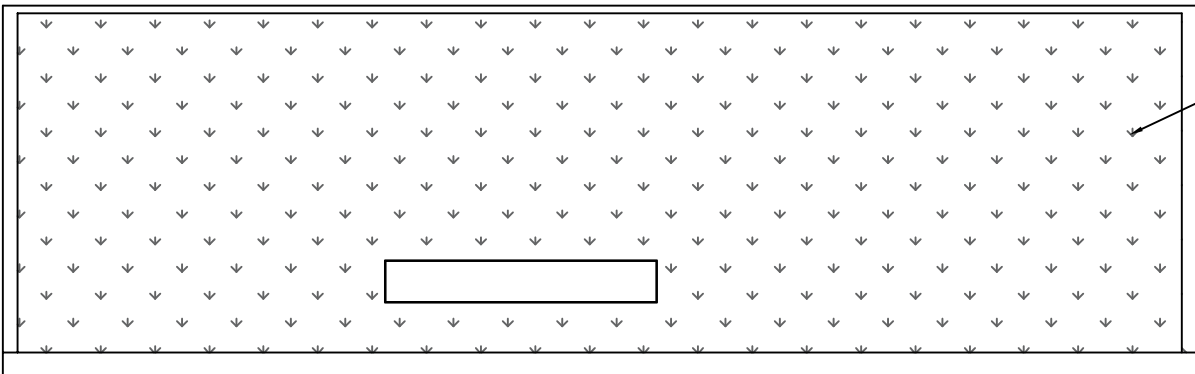
SOUTH WEST ELEVATION



SOUTH EAST ELEVATION



NORTH EAST ELEVATION



NORTH WEST ELEVATION

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D	Layout update following client's comments	15/10/18
C	Layout update following client's comments	08/10/18
B	Layout update following client's comments	04/10/18
A	Draft for client comment	28/09/18
REV	COMMENT	DATE

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PROJECT Extension to Toilet Block,
Queens Park, Kingswood
Avenue, London, NW6 6SG

TITLE Proposed Elevations
New Build Option A

CLIENT City of London

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DATE 26/09/2018	SCALE 1:50 @ A2

DWG No. 9578-ZZ-3203-S2	REV. B
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FORMAL COST PLANS

ORDER OF COST ESTIMATE - SUMMARY - REVISION C

Prepared for City of London

Based upon

- 1) Playle and Partners Drawing nrs. 9000-00-1101-S4 Rev A - Existing Layout; 9578-00-3101 -S2 Rev B - Layout Refurbishment Option a; 9578-00-3102 -S2 Rev B - Layout Refurbishment Option b; 9578-ZZ-3201 -S2 Rev B - Elevation Refurbishment Option a; 9578-ZZ-3202 -S2 Rev B - Elevation Refurbishment Option b; 9578-00-3103-S2 Rev B - New Build Option A; 9578-00-3103-S2 Rev B - New Build Option B; 9578-ZZ-3203-S2 Rev B - Elevations New Build Option A; and 9578-ZZ-3204-S2 Rev B - Elevations New Build Option B.
- 2) BCIS online; All in TPI (320), and Location Factor (128). Accessed on 03 October 2018.

	Option 1a	Option 2a
TOTAL	£ 215,000	£ 340,000

General Assumptions to all Options

- 1) Tenders to be sought in competition. Proposed Procurement Method and proposed type of Contract detailed on Order of Cost Estimate sheets.
- 2) Period on site will vary depending upon option chosen. Anticipated construction duration included under individual Order of Cost Estimate sheets.
- 3) Areas taken from Playle & Partners LLP drawings.
- 4) Assumed that no Asbestos Removal is required

General Exclusions to all Options

- 1) Price increases beyond 1Q 2019.
- 2) VAT.
- 3) Project design team fees.
- 4) Other development costs.
- 5) No allowance for new mechanical ventilation
- 6) No allowance to provide new sustainable technologies.
- 7) Works to external drainage.
- 8) Work to upgrade incoming services or replace existing meters.
- 9) External works other than identified areas within proposed plans.
- 10) Works to the existing fabric/façade of the building other than where specified.
- 11) Works over and above the work described for the cost/m².
- 12) Loose fixtures and fittings is excluded from the construction costs.
- 13) All contingencies are removed as deemed that City of London will hold a separate project budget for contingency.

9578 - QUEENS PARK TOILET REFURBISHMENT

ORDER OF COST ESTIMATE - OPTION 1a

Prepared for City of London

Based upon

- 1) Playle and Partners Drawing nrs. 9000-00-1101-S4 Rev A - Existing Layout; 9578-00-3101-S2 Rev B - Layout Refurbishment Option a; 9578-ZZ-3201 -S2 Rev B - Elevation Refurbishment Option a
- 2) BCIS online; All in TPI (320), and Location Factor (128). Accessed on 03 October 2018.

Description

Refurbishment of existing toilets

Option 1a - remodelling and refurbishment - 2 unisex WC's one for park users, one for playground users

	Option 1a				
	Quantity	Unit	Rate		Total
Demolition					
External brick walls	3	m ²	£ 50	£	150
Internal brick walls	37	m ²	£ 25	£	935
Remove external door and frame/Roller shutter & frame	2	Nr	£ 50	£	100
Strip out sanitaryware	13	Nr	£ 30	£	390
Hack off tiles and make good	234	m ²	£ 10	£	2,342
Substructure					
Foundations	0			£	-
Superstructure					
Roof					
Removal of existing Roof	63	m ²	£ 25	£	1,575
New flat roof to falls	63	m ²	£ 150	£	9,450
Brown Roof	63	m ²	£ 300	£	18,900
Fall Restraint System	1	item	£ 6,000	£	6,000
External Walls					
Timber Cladding	42	m ²	£ 250	£	10,500
Green Wall	44	m ²	£ 900	£	39,600
Windows and external doors					
Roller Shutters	2	Nr	£ 2,000	£	4,000
Door	1	Nr	£ 1,000	£	1,000
Internal walls and partitions	43	m ²	£ 75	£	3,195
Internal doors	10	Nr	£ 600	£	6,000
Internal Finishes					
Wall Finishes	171	m ²	£ 130	£	22,256
Floor Finishes	63	m ²	£ 75	£	4,725
Ceiling Finishes	63	m ²	£ 80	£	5,040
Services					
Sanitary installations	20	Nr	£ 500	£	10,000
disposal installations	20	Nr	£ 100	£	2,000
water installations	20	Nr	£ 75	£	1,500
ventilation	63	m ²	£ 10	£	630
electrical installations	63	m ²	£ 170	£	10,710
builders work in connection with services	63	m ²	£ 10	£	630
External Works					
Remove vegetation	1	item	£ 500	£	500
Building Works Estimate				£	162,128
Building Works Estimate	say			£	162,000
Main Contractor's Preliminaries Estimate	say	20%		£	33,000
Sub Total				£	195,000
Main Contractor's Overhead and Profit	say	10%		£	20,000
WORKS COST ESTIMATE				£	215,000
Project Design Team Fees Estimate					EXCLUDED
Sub Total				£	215,000
Other Development Costs					EXCLUDED
BASE COST ESTIMATE				£	215,000
Risk Allowance Estimate					EXCLUDED
COST LIMIT EXCLUDING INFLATION				£	215,000
Tender Inflation Limit to 4Q 2018	INCLUDED IN RATES				-
Construction Inflation Limit to 1Q 2019	INCLUDED IN RATES				-
COST LIMIT INCLUDING INFLATION				£	215,000
COST LIMIT INCLUDING INFLATION SAY				£	215,000

Specific Assumptions

- 1) Tenders to be sought in competition, Single Stage Traditional Procurement, JCT Minor Works Form of Contract with lump sum price.
- 2) Option 1a - Period on site assumed at 7-14 weeks.
- 3) Main Contractor
- 4) The client will hold sufficient contingency allowances below the line separate to the contract.
- 5) The existing drainage has sufficient capacity to accommodate additional connections.
- 6) Assumed that no Asbestos Removal is required
- 7) Roof: removal of existing roof and new flat roof to slope and to supply and install a sedum brown roof. Fall restraint system (including 2 sets of full PPE)
- 8) External Wall: Timber Cladding and Green Wall
- 9) External Doors: Solid Door and Roller Shutter
- 10) Internal Walls: blockwork
- 11) Internal Doors: solid softwood door sets
- 12) Wall Finish: Altro Whiterock Satin wall cladding
- 13) Floor Finish: non-slip vinyl flooring
- 14) Ceiling Finish: MF ceiling
- 15) Electrical: New LED lighting scheme and smart controls (PIR Presence and Absense Detection, daylight saving, emergency lighting, test switches)

Specific Exclusions

- 1) Price increases beyond 1Q 2019.
- 2) VAT assessment.
- 3) Project/design team fees.
- 4) Other development/project costs.
- 5) Surveys and investigations.
- 6) Works to install or upgrade existing incoming services.
- 7) Works to the existing fabric of the building other than where specified and surrounding areas.
- 8) Works over and above the work described for the cost/m².
- 9) Works to remove asbestos.

Notes

- 1) Prices have been kept at current tender pricing levels and therefore tender and construction inflation has been included to the end of 1Q 2019. The BCIS tender price index is forecasting a marginal decrease in costs towards the end of the year.

9578 - QUEENS PARK TOILET REFURBISHMENT

ORDER OF COST ESTIMATE - OPTION 2a

Prepared for City of London

Based upon

- 1) Playle and Partners Drawing nrs. 9000-00-1101-S4 Rev A - Existing Layout; 9578-00-3103-S2 Rev D - New Build Option A; 9578-ZZ-3203-S2 Rev D - Elevations New Build Option A
- 2) BCIS online; All in TPI (320), and Location Factor (128). Accessed on 03 October 2018.

Description

Demolishing existing building and building new.
Option 2a - Demolishing existing building and building new toilet block with larger footprint.

	Option 2a			
	Quantity	Unit	Rate	Total
Demolition:				
Strip out and demolish existing building and removal of existing foundation	189	m³	£ 55	£ 10,395
Substructure				
Foundations and Lowest Floor	69	m²	£ 250	£ 17,250
Superstructure				
Roof				
Roof Structure	69	m²	£ 250	£ 17,250
Brown Roof	69	m²	£ 300	£ 20,700
Full Restraint System	1	item	£ 6,000	£ 6,000
Roof Lights	3	nr	£ 1,500	£ 4,500
External Walls				
Timber Cladding	42	m²	£ 300	£ 12,600
Green Wall	62	m²	£ 900	£ 55,800
Windows and external doors				
Roller Shutters	3	Nr	£ 2,000	£ 6,000
Door	1	Nr	£ 1,000	£ 1,000
Internal walls and partitions	143	m²	£ 80	£ 11,448
Internal doors	14	Nr	£ 600	£ 8,400
Internal Finishes				
Wall Finishes	390	m²	£ 130	£ 50,726
Floor Finishes	59	m²	£ 75	£ 4,425
Ceiling Finishes	59	m²	£ 80	£ 4,720
Services				
Sanitary installations	24	Nr	£ 500	£ 12,000
disposal installations	24	Nr	£ 250	£ 6,000
water installations	24	Nr	£ 150	£ 3,600
ventilation	59	m²	£ 45	£ 2,655
electrical installations	59	m²	£ 170	£ 10,030
builders work in connection with services	59	m²	£ 10	£ 590
Building Works Estimate			£	266,089
Building Works Estimate say			£	267,000
Main Contractor's Preliminaries Estimate say	18%		£	48,000
Sub Total			£	315,000
Main Contractor's Overhead and Profit say	8%		£	25,000
WORKS COST ESTIMATE			£	340,000
Project Design Team Fees Estimate				EXCLUDED
Sub Total			£	340,000
Other Development Costs				EXCLUDED
BASE COST ESTIMATE			£	340,000
Risk Allowance Estimate				EXCLUDED
COST LIMIT EXCLUDING INFLATION			£	340,000
Tender Inflation Limit to 4Q 2018 INCLUDED IN RATES				-
Construction Inflation Limit to 1Q 2019 INCLUDED IN RATES				-
COST LIMIT INCLUDING INFLATION			£	340,000
COST LIMIT INCLUDING INFLATION SAY			£	340,000

Specific Assumptions

- 1) Tenders to be sought in competition, Single Stage Traditional Procurement, JCT Minor Works Form of Contract with lump sum price.
- 2) Option 2a - Period on site assumed at 16-20 weeks.
- 3) Main Contractor
- 4) The client will hold sufficient contingency allowances below the line separate to the contract.
- 5) The existing underground drainage has sufficient capacity to accommodate additional connections.
- 6) Assumed that no Asbestos Removal is required
- 7) Roof: low angle pitched roof and to supply and install a sedum brown roof. Fall restraint system (including 2 sets of full PPE)
- 8) External Wall: Timber Cladding and Green Wall on 140mm dense block with waterproof render.
- 9) External Doors: Solid Door and Roller Shutter
- 10) Internal Walls: blockwork
- 11) Internal Doors: solid softwood door sets
- 12) Wall Finish: Altro Whiterock Satin wall cladding
- 13) Floor Finish: non-slip vinyl flooring
- 14) Ceiling Finish: MF ceiling
- 15) Electrical: New LED lighting scheme and smart controls (PIR Presence and Absense Detection, daylight saving, emergency lighting, test switches)

Specific Exclusions

- 1) Price increases beyond 1Q 2019.
- 2) VAT assessment.
- 3) Project/design team fees.
- 4) Other development/project costs.
- 5) Surveys and investigations.
- 6) Works to install or upgrade existing incoming services.
- 7) Works to the surrounding area.
- 8) Works over and above the work described for the cost/m².
- 9) Works to remove contaminated soil and asbestos.

Notes

- 1) Prices have been kept at current tender pricing levels and therefore tender and construction inflation has been included to the end of 1Q 2019. The BCIS tender price index is forecasting a marginal decrease in costs towards the end of the year.

The following is our assessment as to budget allowances to be set aside by the Cite of London Professional Fees, Specialist Service Fees and survey costs for the Queens Park Scheme.

Additional Specialists Services and Surveys	
Arboriculturalist	£ 1000.00
Topographical	£ 2500.00
Planning Application	£ 500.00
Building Regs App & Inspection	£ 800.00
Building Condition & Structural Survey	£ 4000.00
Underground Services Trace	£ 1,000.00
Asbestos Survey	£ 1,500.00
Drainage CCTV Survey	£ 2,500.00
Preliminary Ecology Assessment	£ 1,000.00
Ground/Site Investigation	£ 2,000.00
M&E Services Investigations	£ 3,000.00
Other Survey Allowance	£ 2,500.00
Associated on costs with specialist services	£ 500.00
Additional Fees Total	£ 22,800.00
Total	£ 22,800.00

SCHEDULE OF WORKS

SECTION 3

OUTLINE SPECIFICATION OF WORKS FOR THE REFURBISHMENT OF THE TOILET BLOCK AT QUEEN'S PARK, KINGSWOOD AVENUE, LONDON, NW6 6SG

		£	p
3.1	<u>SCHEDULE OF WORKS</u>		
	Note: The following Schedule of Works is to be read in conjunction with Drawing No: 9578-00-1101-S2.A, 9578-00-3101-S2.D, 9578-01-3101-S2.A, 9578-ZZ-3201-S2.B.		
3.1.1	PRICING NOTES		
	a) The Contractor is to price each item separately.		
	b) Where an item refers to "match existing" the Contractor is to take all reasonable steps in order to replace the item to as near as possible match that which previously existed.		
	c) Where an item refers to "clear away" or "cart away", the Contractor is to include for taking down, getting out, loading, transporting to an approved tip for disposal and for paying all resulting charges.		
	d) The contractor is to be responsible for ensuring that any windows and doors where decorated are opened and operate satisfactorily on completion.		
	e) The Contractor is to be responsible for checking all dimensions on site.		
	f) All provisional sums are to be expended or deducted in part or whole as directed by the Contract Administrator, claims for loss of profit against omitted provisional sums will not be considered.		
	g) The Contractor is to allow for liaising with the blocks management with regard to the day to day work schedule.		
3.1.2	SERVICES – The contractor is to allow for organising and paying for all necessary temporary services in order to execute the works.		
3.1.3	ACCESS EQUIPMENT AND PLANT – The Contractor is to allow for all other necessary access equipment and plant in order to safely carry out the works in accordance with current health and safety requirements.		
3.1.4	DEBRIS CLEARANCE – The Contractor is to clear any remaining contents debris to facilitate the works and all construction debris at regular intervals during the course of the works in order to ensure that the site remains safe and free from debris at all times.		
3.1.5	AREAS NOT AFFECTED BY THE WORKS – The Contractor is to be responsible for protecting adjoining premises during the course of the works, any damage occurring as a result of the works is to be made good at the Contractor's expense.		

To Collection £

SECTION 3

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3.2	<u>GENERALLY</u>		
3.2.1	BUILDING CONTROL – The contractor is to allow for liaising with Building Control, obtaining all necessary approvals and for paying all associated inspection fees. On completion of the project, obtain Building Regulation Completion Certificates for the Client. The contractor shall include within their price for paying all Building Control inspection fees and issuing of the Building Control completion certificate.		
3.2.2	REDUNDANT FIXTURES & FITTINGS – The contractor is to include for taking down and clearing away all redundant fixtures and fittings not required as part of the refurbished property and for making good all disturbed surfaces.		
3.2.3	CLEANING – On completion of the works the Contractor is to allow to undertake a full clean of the units and common areas, leaving fit for habitation.		
3.2.3	This schedule is to be read in conjunction with the contract drawings and specifications.		
3.2.4	The Contractor is to supply all materials necessary to complete the works in this schedule and must follow the manufacturers' instructions re their installation, mixing, application etc.		
3.2.5	The Contractor is to allow for removal from site and safe disposal at a licenced site of all arising from demolition and construction activities.		
3.2.6	The Contractor is to carry out survey to familiarise themselves with the site and prepare method statement in accordance with the specification.		
3.2.7	Before commencing work the Contractor is to inspect the areas where the Works are to be executed and the associated elevations, external works, adjoining areas, public footpaths, roads, etc., and prepare a photographic condition record. The record is to be submitted to Contract Administrator prior to start on site.		
3.2.8	A Refurbishment & Demolition Asbestos Survey to be carried out by the contractor. Should any asbestos be discovered during the works and specialist asbestos removal works be found to be necessary, the Contractor shall report to the Contract Administrator and all works shall be carried out in strict compliance with the Control of Asbestos Regulations 2006 and Approved Code of Practice. Refer also to Pre-construction Information.		
3.3	<u>EXTERNAL WORKS</u>		
3.3.1	External Walls <ul style="list-style-type: none">- Install timber battens to external rendered walls to the extent of the existing brickwork at the top of the wall, creating a flush finish around the exterior in preparation for the new wall		

To Collection £

SECTION 3

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	<p>finishes.</p> <ul style="list-style-type: none"> - Install 20x150mm horizontal timber cladding in Red Cedar to a height of 1440mm from the building base affixed to the timber battens. - Install Scotscape external living wall to the top half of the external walls at the height of 1440-2880mm from the base of the building, affixed to the timber battens and existing brickwork. The contractor is to liaise with Scotscape for the installation of the living wall, along with the associated irrigation and drainage system. 		
3.3.2	<p>Main Roof</p> <ul style="list-style-type: none"> - Remove the existing felt covering to the roof and make good the existing concrete deck. - Lay 100mm thick roof insulation covered with a loose laid geotextile fabric. - Install 20mm plastic perforated drainage membrane above the insulation, laid to fall to the roof drainage. Covered with a loose laid geotextile fabric. - Install low nutrient aggregate based substrate containing native seeds to the top of the roof, with a sparse planting or arid loving species. - Install Fall Restraint System in accordance with manufacturer's design. - Repair the existing roof lights where required, and clean thoroughly inside and out upon completion. 		
3.3.3	<p>Existing External Doors & Openings</p> <ul style="list-style-type: none"> - Remove the existing service door and frame on the southwest elevation and fill in the opening with blockwork in preparation for the external wall finishes. - Remove the existing frame and roller shutter Female WC access on the northeast elevation and fill in the opening with blockwork in preparation for the external wall finishes. - Make good retained external doors and apply new coating of Dulux Weathershield Gloss paint, colour TBC. 		
3.3.4	<p>New External Doors & Openings</p> <ul style="list-style-type: none"> - Create new door opening on the southwest elevation and install new frame and electronic roller shutter to match existing. 		
3.3.5	<p>Ventilation</p> <ul style="list-style-type: none"> - Make good and replace external vents where required, and apply new coating of Dulux Weathershield Gloss paint to all vents, colour TBC. 		
3.3.6	<p>Groundworks</p> <ul style="list-style-type: none"> - Allow to make good to hard standing around the perimeter of new extension and new inspection chamber. Ensure there is a suitable level access to new accessible toilet compliant with Part M of the Building Regulations. 		

To Collection £

SECTION 3

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3.4	DRAINAGE		
3.4.1	Install new rainwater pipe to the building exterior connected to the roof drainage and linked to existing drainage on site.		
3.4.2	The contractor is to allow for the proposed drainage alteration works as per the M&E specification.		
3.4.3	Excavate a trench to formation level for new foul drainage system and new inspection chamber. New inspection chamber is to connect to the existing underground drainage run. Compact the bottom of the excavations well. As per the M&E specification.		
3.4.4	Lay 100mm thick bedding of granular material in accordance with BS EN 1610 and compact well. Use the same material for side/surround fill.		
3.4.5	Install new 110mm diameter uPVC drainage pipes and new 450mm diameter inspection chamber in accordance with Approved Document H. Include for all fittings, connectors, cast iron manhole cover and frame. Use Marley Plumbing and Drainage or equivalent products.		
3.5	INTERNAL WORKS		
3.5.1	General Stripping Out <ul style="list-style-type: none">- Take out and clear away the following as indicated on 9578-00-1101-S2.A – Demolition Layout and prepare any surfaces ready to receive new.- Fixtures & fittings not required as part of new scheme.- Floor finishes.- Partitions not required in new scheme.- Wall tiling to existing bathroom areas and make good disturbed surfaces.- Doors and frames from openings to be infilled.- Doors indicated for replacement.		
3.5.2	Flooring <ul style="list-style-type: none">- Lay new 2mm slip resistant safety flooring from Altro Ltd (Altro Walkway, colour: Biscuit, Product Code WR146/ VM20907). Use an approved adhesive, all in accordance with the manufacturer's recommendations.- Allow for cove former.- Allow for metal strip at the door threshold.		
3.5.3	Ceiling <ul style="list-style-type: none">- Install 15mm straight edge Gyproc DuraLine MR plasterboard to new ceiling using plasterboard screws. Apply plasterboard jointing tape to all edges. Apply 3mm plaster skim coat.		
3.5.4	Plumbing & Sanitary Ware <ul style="list-style-type: none">- Replace the existing hot and cold water system to supply the WC's and wash hand basins. Pipework to be in copper.- Allow for isolation valves, fittings, brackets etc.		

To Collection £

SECTION 3

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	<ul style="list-style-type: none"> - Install new 110mm diameter uPVC above ground foul drainage to serve WCs in accordance with Approved Document H. Include all fittings. Use Marley Plumbing and Drainage or equivalent products. - Install solvent weld waste pipework to serve new wash hand basins and connect to above ground foul drainage in accordance with Approved Document H. Use Marley Plumbing and Drainage or equivalent products. - Install 2 x Doc M Suite comprising of WC with seat, wash hand basin and blue grab rails from Twyford Bathrooms Ltd (product code PK8184BE) or equivalent products to both DDA WCs. Note: substitute mixer lever tap with Sola 1/2 Non Concussive Taps (Pair) (product code SF2152CP). - Install 8 x Sola School Rimless 300 Close Coupled Toilet Pan, from Twyford Bathrooms Ltd (product code SA1512WH) or equivalent product. - Install 6 x Sola Washbasin 600x400 1 Tap from Twyford Bathrooms Ltd (product code SA4311WH) or equivalent product. - Install solvent weld waste pipework to serve new wash hand basin and connect to above ground foul drainage in accordance with Approved Document H. Use Marley Plumbing and Drainage or equivalent products. - Install 4 x modular 1 litre refillable liquid soap dispenser with blue teardrop. - Install 2 x Babyminder Horizontal Baby Changer in white. - Install 10 x white plastic modular standard centrefeed roll dispenser. - Install 6 x 400x900mm acrylic mirror on the wall above Washbasins. - Install 4 x AIRDRI White Automatic Classic Hand dryer. Allow for wiring to the existing circuits. 		
3.5.5	Wall Finish & Decorations <ul style="list-style-type: none"> - Apply plaster finish all walls. Use Thistle HardWall with 3mm skim coat finish. - Install Altro Whiterock Satin wall cladding, colour: Urban (Product Code W136/W137 210) up to 1.6m from floor level. Allow for trims and transition strips. - Allow for forming boxing to all drainage above floor level clad with Altro Whiterock Satin wall cladding as above. - Prepare and decorate the ceiling and walls above cladding. Use Dulux Trade Diamond Matt, colour: White, with undercoat, as recommended by the manufacturer. 		
3.5.6	New Partitions Carry out dry-lining and partitioning works. The works include: <ul style="list-style-type: none"> - Construction of the new stud partition walls. - Plastering works. 		
3.5.7	New Doors <ul style="list-style-type: none"> - Install 10 new 1981 x 838mm plywood flushed internal doors with polished chrome Bathroom Privacy ironmongery set to the 		

To Collection £

SECTION 3

	cubicle entrances, with Dulux Trade Diamond Matt finish. Colour TBC.		£	p
3.5.8	Lighting <ul style="list-style-type: none">- Design & install new LED Lighting scheme & smart controls (PIR Presence & Absence detection, daylight saving, emergency lighting, test switches, etc.)			
To Collection			£	

SECTION 3

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To Collection £

SECTION 3

OUTLINE SPECIFICATION OF WORKS FOR THE DEMOLISHMENT AND NEW BUILD OF THE TOILET BLOCK AT QUEEN'S PARK, KINGSWOOD AVENUE, LONDON, NW6 6SG

		£	p
3.1	<u>SCHEDULE OF WORKS</u>		
	Note: The following Schedule of Works is to be read in conjunction with Drawing No: 9578-00-3103-S2.D, 9578-01-3101-S2.A, 9578-ZZ-3201-S2.B		
3.1.1	Pricing Notes		
	a) The Contractor is to price each item separately.		
	b) Where an item refers to "match existing" the Contractor is to take all reasonable steps in order to replace the item to as near as possible match that which previously existed.		
	c) Where an item refers to "clear away" or "cart away", the Contractor is to include for taking down, getting out, loading, transporting to an approved tip for disposal and for paying all resulting charges.		
	d) The contractor is to be responsible for ensuring that any windows and doors where decorated are opened and operate satisfactorily on completion.		
	e) The Contractor is to be responsible for checking all dimensions on site.		
	f) All provisional sums are to be expended or deducted in part or whole as directed by the Contract Administrator, claims for loss of profit against omitted provisional sums will not be considered.		
	g) The Contractor is to allow for liaising with the blocks management with regard to the day to day work schedule.		
3.1.2	Services		
	The contractor is to allow for organising and paying for all necessary temporary services in order to execute the works.		
3.1.3	Access Equipment & Plant		
	The Contractor is to allow for all other necessary access equipment and plant in order to safely carry out the works in accordance with current health and safety requirements.		
3.1.4	Debris Clearance		
	The Contractor is to clear any remaining contents debris to facilitate the works and all construction debris at regular intervals during the course of the works in order to ensure that the site remains safe and free from debris at all times.		

To Collection £

SECTION 3

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3.2	<u>GENERALLY</u>		
3.2.1	Building Control The contractor is to allow for liaising with Building Control, obtaining all necessary approvals and for paying all associated inspection fees. On completion of the project, obtain Building Regulation Completion Certificates for the Client. The contractor shall include within their price for paying all Building Control inspection fees and issuing of the Building Control completion certificate.		
3.2.2	Redundant Fixtures & Fittings The contractor is to include for taking down and clearing away all redundant fixtures and fittings not required as part of the refurbished property and for making good all disturbed surfaces.		
3.2.3	Cleaning On completion of the works the Contractor is to allow to undertake a full clean of the units and common areas, leaving fit for habitation.		
3.2.3	This schedule is to be read in conjunction with the contract drawings and specifications.		
3.2.4	The Contractor is to supply all materials necessary to complete the works in this schedule and must follow the manufacturers' instructions re their installation, mixing, application etc.		
3.2.5	The Contractor is to allow for removal from site and safe disposal at a licenced site of all arising from demolition and construction activities.		
3.2.6	The Contractor is to carry out survey to familiarise themselves with the site and prepare method statement in accordance with the specification.		
3.2.7	Before commencing work the Contractor is to inspect the areas where the Works are to be executed and the associated elevations, external works, adjoining areas, public footpaths, roads, etc., and prepare a photographic condition record. The record is to be submitted to Contract Administrator prior to start on site.		
3.2.8	A Refurbishment & Demolition Asbestos Survey to be carried out by the contractor. Should any asbestos be discovered during the works and specialist asbestos removal works be found to be necessary, the Contractor shall report to the Contract Administrator and all works shall be carried out in strict compliance with the Control of Asbestos Regulations 2006 and Approved Code of Practice. Refer also to Pre-construction Information.		
3.3	<u>DEMOLITION WORKS</u>		
3.3.1	The contractor is to allow for the demolition and removal of the existing building and structure, with the option to retain the existing foundations following input from the Structural Engineer.		

To Collection £

SECTION 3

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3.4	<u>EXTERNAL WORKS</u>		
3.4.1	Ground Slab <ul style="list-style-type: none">- Infill the footprint of new extension with hard-core to appropriate level and compact well. Allow for 25mm sand blinding.- Lay 150mm thick layer of DTp1 or of 50mm crusher run and compact well. Blind with 50mm sand.- Lay 1200 gauge polythene DPM. DPM to be taken up the walls and lapped with DPC.- Cast 100mm thick C25 grade concrete slab with A193 steel reinforcement mesh. Finish concrete by hand floating followed by steel trowel finish. Finished concrete surface to be ready to receive floor finishes.		
3.4.2	Masonry Works <p>Construct 215mm thick solid wall using solid dense concrete blockwork.</p> <ul style="list-style-type: none">- Allow for a proprietary DPC minimum 150mm above the finished external ground level.- Allow for stainless steel wall starters.- Allow for 4 No. Catnic CG90/50 lintels to be installed above the door and entrance openings.- Fit aluminium parapet wall capping.		
3.4.3	Main Roof <ul style="list-style-type: none">- Install 50x175mm C24 softwood runners bolted to the face of the wall with M12 sleeve anchors or chemical fixings. Allow for DPM between the timber runners and masonry.- Install 50x175mm C24 softwood joists at 600mm centres. Allow for galvanised joists hangers to attach the joists to the runners.- Install 50mm thick treated softwood firrings cut to form 15 deg pitch with 18mm thick marine plywood deck over.- Install Scotscape extensive roof system as per the manufacturer's specifications.- Install Fall Restraint System in accordance with manufacturer's design.		
3.4.4	External Doors & Openings <ul style="list-style-type: none">- Create 4 x entrances to the toilet block.- Install 3 x frames with electric roller shutters to the Male, Female & Unisex WCs.- Install new frame and Heavy Duty, Hardwood/ Composite Exterior door to PAS 24: 2016 to the DDA WC entrance.		
3.4.5	Roof Lights <ul style="list-style-type: none">- Install 3 new Velux 780 x 1800mm MK12 centre pivot roof windows with standard glazing and manual control.		
3.4.6	Ventilation <ul style="list-style-type: none">- Ventilation to be installed as per the M&E Engineers specification.		

To Collection £

SECTION 3

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3.4	<u>DRAINAGE</u>		
3.4.1	Install new rainwater pipe to the building exterior connected to the roof drainage and linked to existing drainage on site.		
3.4.2	The contractor is to allow for the proposed drainage alteration works as per the M&E specification.		
3.5	<u>INTERNAL WORKS</u>		
3.5.1	Flooring <ul style="list-style-type: none">- Lay new 2mm slip resistant safety flooring from Altro Ltd (Altro Walkway, colour: Biscuit, Product Code WR146/ VM20907). Use an approved adhesive, all in accordance with the manufacturer's recommendations.- Allow for cove former.- Allow for metal strip at the door threshold.		
3.5.2	New Partitions <p>Carry out dry-lining and partitioning works. The works include:</p> <ul style="list-style-type: none">- Construction of the new stud partition walls.- Plastering works.		
3.5.3	Wall Finish & Decorations <ul style="list-style-type: none">- Apply plaster finish all walls. Use Thistle HardWall with 3mm skim coat finish.- Install Altro Whiterock Satin wall cladding, colour: Urban (Product Code W136/W137 210) up to 1.6m from floor level. Allow for trims and transition strips.- Allow for forming boxing to all drainage above floor level clad with Altro Whiterock Satin wall cladding as above.- Prepare and decorate the ceiling and walls above cladding. Use Dulux Trade Diamond Matt, colour: White, with undercoat, as recommended by the manufacturer.		
3.5.4	Plumbing & Sanitary Ware <ul style="list-style-type: none">- Replace the existing hot and cold water system to supply the WC's and wash hand basins. Pipework to be in copper.- Allow for isolation valves, fittings, brackets etc.- Install new 110mm diameter uPVC above ground foul drainage to serve WCs in accordance with Approved Document H. Include all fittings. Use Marley Plumbing and Drainage or equivalent products.- Install solvent weld waste pipework to serve new wash hand basins and connect to above ground foul drainage in accordance with Approved Document H. Use Marley Plumbing and Drainage or equivalent products.- Install 3 x Doc M Suite comprising of WC with seat, wash hand basin and blue grab rails from Twyford Bathrooms Ltd (product code PK8184BE) or equivalent products to both DDA WCs. Note: substitute mixer lever tap with Sola 1/2 Non Concussive Taps (Pair) (product code SF2152CP).- Install 12 x Sola School Rimless 300 Close Coupled Toilet		

To Collection £

SECTION 3

	<p>Pan, from Twyford Bathrooms Ltd (product code SA1512WH) or equivalent product.</p> <ul style="list-style-type: none"> - Install 12 x Sola Washbasin 600x400 1 Tap from Twyford Bathrooms Ltd (product code SA4311WH) or equivalent product. - Install solvent weld waste pipework to serve new wash hand basin and connect to above ground foul drainage in accordance with Approved Document H. Use Marley Plumbing and Drainage or equivalent products. - Install 2 x Clifton Waterless Urinal Twyford Bathrooms Ltd (product code VC7502WH) or equivalent product. - Install 11 x modular 1 litre refillable liquid soap dispenser with blue teardrop. - Install 2 x Babyminder Horizontal Baby Changer in white. Install 14 x white plastic modular standard centrefeed roll dispenser. - Install 12 x 400x900mm acrylic mirror on the wall above Washbasins. - Install 6 x AIRDRI White Automatic Classic Hand dryer. Allow for wiring to the existing circuits. 		£	p
3.5.7	<p>New Doors</p> <ul style="list-style-type: none"> - Install 14 new 1981 x 838mm plywood flushed internal doors with polished chrome Bathroom Privacy ironmongery set to the cubicle entrances, with Dulux Trade Diamond Matt finish. Colour TBC. 			
3.5.8	<p>Lighting</p> <ul style="list-style-type: none"> - Design & install new LED Lighting scheme & smart controls (PIR Presence & Absence detection, daylight saving, emergency lighting, test switches, etc.) 			

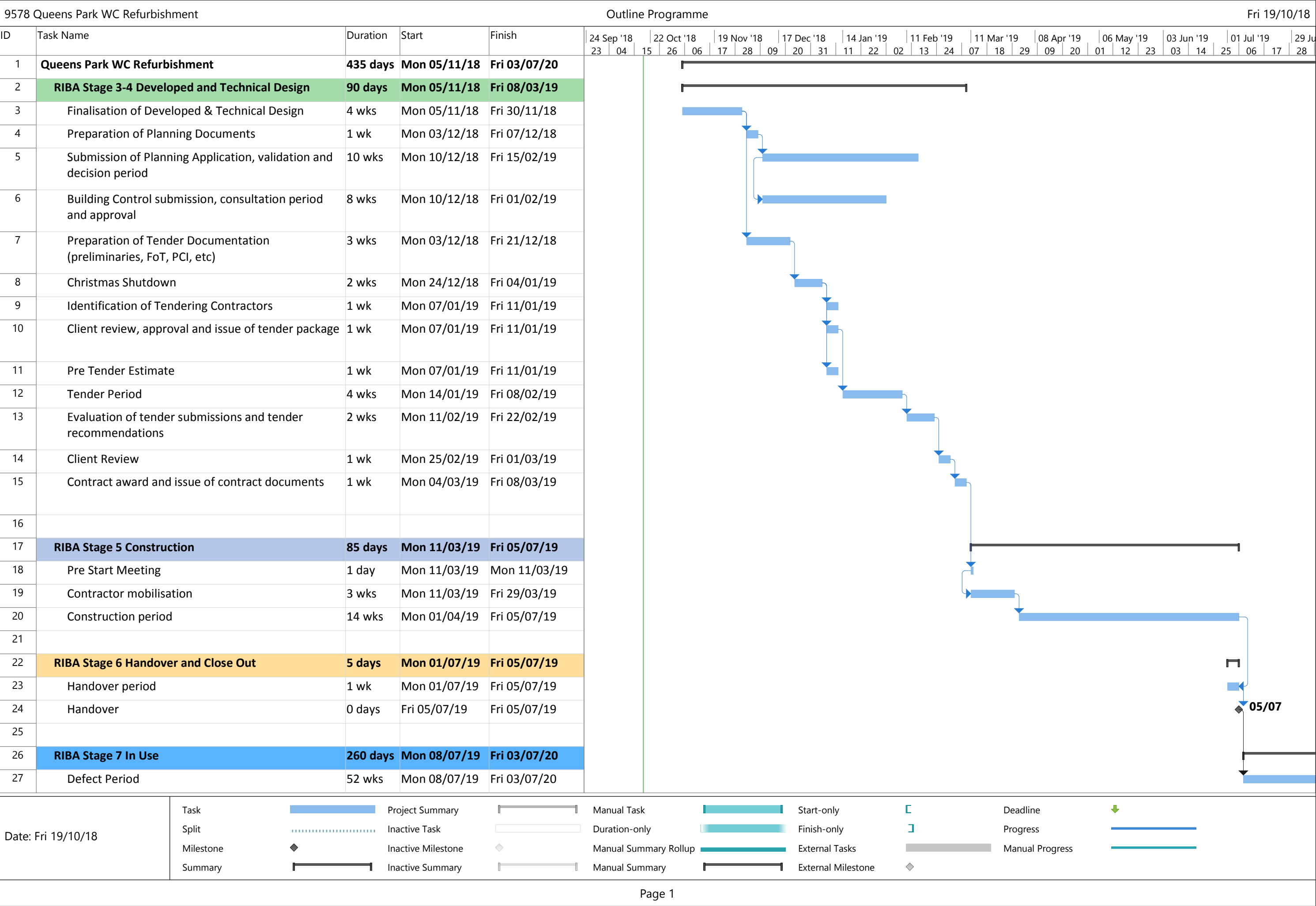
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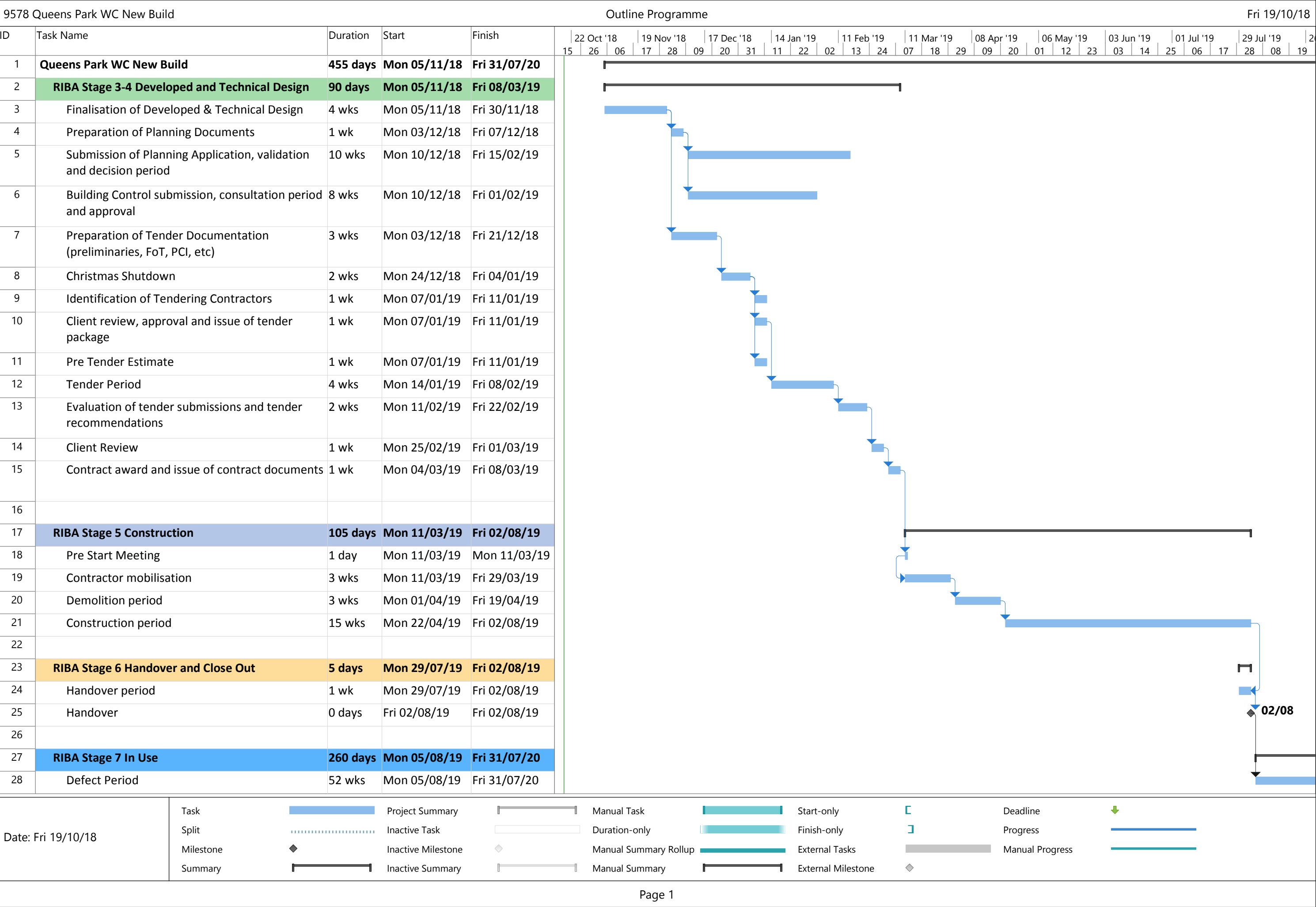
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	Carried to General of Summary		£	

To Collection £

PROGRAMMES





Further Investigation Required

(Excavation, Foundation Design etc.)

Conservation Area

As outlined in the City of London's Conservation Area - "A General Introduction to their Character" it is important that any changes or alterations are managed in a way to preserve and strengthen the rich, complex, intricate and subtle character and individuality of the City's Conservation Area. The Conservation Areas are locations that are identified and considered as historic and architectural importance. Therefore, any works need to consider the locations importance. As this building is located within the Conservation Area care will need to be considered when designing and constructing the extension.

Surrounding Contexts

It is important that the existing trees are preserved effectively. The buildings is located in a park therefore the surrounding trees need to be considered. Particularly those situated in close proximity to the building. A specialist Arboricultural Consultant will be required to carry out the relevant Tree Survey, Arboricultural Impact Assessment, Ecological Surveys and a identify the Root Protection Areas. The consultant will be able to suggest potentially mitigation strategies to elevate any issues raised.

Structure

Consultation will need to be a made with a Structural Engineer to consider the Foundation Design, Floor Specification, Roof Joist Structure and lintels over doors and windows

Contractor Welfare Provision

The Welfare Provision will be included in the Principal Contractors Construction Phase Plan as part of the Contractors design. It will need to be considered with consultation with the stakeholders of the Park to accommodate and agree the welfare type, location and requirements.

CCTV Drainage Survey

The CCTV Drainage Survey will need to be conducted to identify current and potential problems in your drainage system.

Site/Ground Investigation to inform structural foundation design, etc.

The site/ground investigation will be conducted to obtain information in regards to the buildings design and ground that it is constructed on to identify and prevent potential problems that may be encountered in the project.

M&E Engineer Condition Survey of existing systems if they are proposed to be reused.

The M&E Engineer condition Survey will be conducted to determine if the existing systems that are proposed to be reused, are appropriate for the new development or if they will need replacing. The M&E Specialist will also need to liaise with Thames Water to confirm the existing capacity will be suitable for any design changes.

Refurbishment and Demolition Asbestos Survey

The refurbishment and demolition asbestos survey will be conducted to determine the risk of asbestos during the refurbishment and demolition processes.

Statutory Approvals Required

Planning

Full Planning Permission will be required as the work involves altering the appearance to the existing building and it is located within a Conservation Area. Some minor extensions do not need planning permission and fall under the category of Permitted Development Rights. However, as the works is located within a Conservation Area that may this may determine the need for a Planning Application. The Department of the Built Environment (DBE) will need to be contacted to confirm whether the work is either a Permitted Development or will need Planning Permission. Conditions can still be applied if the work is considered a Permitted Development. The cost will be determined once the DBE have confirmed the category that the building falls within.

Building Regulations

Applications for Building Regulations approval are needed for most alterations and refurbishments of existing buildings. The cost is determined by the cost and extent of the all the building work involved. The application requires a five week turnaround in a response from Building Control once the information is submitted.

APPENDIX A: BRIEF

Queen's Park: Outline Design for Toilet Refurbishment, Consultant Brief

Address: Queens Park, Kingswood Avenue, London, NW6 6SG

Building Surveyor: Marcus Odunlami - 020 8332 1744 or 07834 386 501

Aim

To investigate the feasibility of 2no. options to refurbish or re-construct the existing toilet block facilities, internally & externally to provide separate entrances from the Main Park and the contained Children's Play Area and increase the existing toilet facilities at Queens Park.



Consultant Scope

To provide an Outline Design for 2no. designs complete with measured floor, roof & elevation plans, itemised specification of works and projections of all fees and costs associated with the construction.

The Outline Design shall include, but not be limited to:

- Measured Floor Plans including locations of all sanitary ware and Doc M furniture
- Plan of Connections to Existing Services (waste, roof drainage, ventilation, etc.)
- New Elevation Plans
- Outline Specification of Works for the construction including all materials, plant, contractor welfare provisions, etc.
- Outline of stages of preparation and construction, and allocated timescales for completion

- Estimate of all associated costs of construction and administration (including professional fees, planning permission, etc.)
- Descriptions of further investigation required and estimate of the associated costs (excavation, foundation design, etc.)
- Identification of statutory approvals required

The Client is seeking to improve the hygienic performance and visual appeal of the building. Example toilet blocks of interest are illustrated below. The incorporation of hygienic wall cladding or Solid Grade Compact Laminate (CGL) boards internally and the modernisation of the external faced via cladding, wall planting or green roof options are of particular interest. Economic options to improve the aesthetics are to be discussed and included within the Outline Designs.

Refurbishment (Gender-Neutral) Design

To advise on and submit a design for the refurbishment of the toilet block keeping within the existing structure and footprint. Facilities shall include:

- Separate facilities, both Gender Neutral, one accessible from the Children's Play Area and one accessible from the Main Park only
- Each separate facility shall provide at least 3no. self-contained WC's, 1no. Doc M accessible WC and separate baby changing facility

Re-construction Design

To advise on and submit a design for the demolition of the existing and provision of a new toilet building, extending the footprint: Facilities shall include:

- Separate Male & Female block accessible from the Main Park Area and Gender-Neutral block accessible from the Children's Play Area
- Male & Female blocks to contain 1no. Doc M accessible WC, 4no. WC's and separate baby changing facility

See concept designs for Refurbishment & Re-construction options in Appendices below

Methodology

All investigation will be non-destructive. The Consultant shall complete the Outline Design in consultation with Building Surveyor Marcus Odunlami, to ensure the design incorporates considerations & preferences of the Site's operational Staff and Users.

The Site

Queen's Park is a 12 hectare park managed by the City of London and has been open to the public since 1887. Queen's Park lies within the London Borough of Brent and the park and the surrounding streets are in a Conservation Area

Location

Queens Park, Kingswood Avenue, London, NW6 6SG, Children's Play Area toilet as marked out on the map appended

Preferred location of the extension is onto the West facing side (facing Milman Road) of the existing toilet block, on the corner within the play area railing (See photo above and prospective plan appended)



Timescale

Submission of Quote: 12/09/18

Project Start: 17/09/18

Submission of Provisional floor plan, elevations and connections for Client comments:
05/10/18

Submission of Final Design Scope and Report: 19/10/18

Where Consultant is able to improve on the above timeline, this would be greatly appreciated as the Outline Designs are required for a Consultancy Meeting scheduled 31st Oct and additional time to review options would be preferable.

Visiting Site

Site Opening Hours: 7am – 4:45pm

Although the Site is open to the public, the Consultant is required to confirm all visits with Site Contacts to arrange access for inspections:

Richard Gentry on 07768 808 426/ 0208 340 5260 or

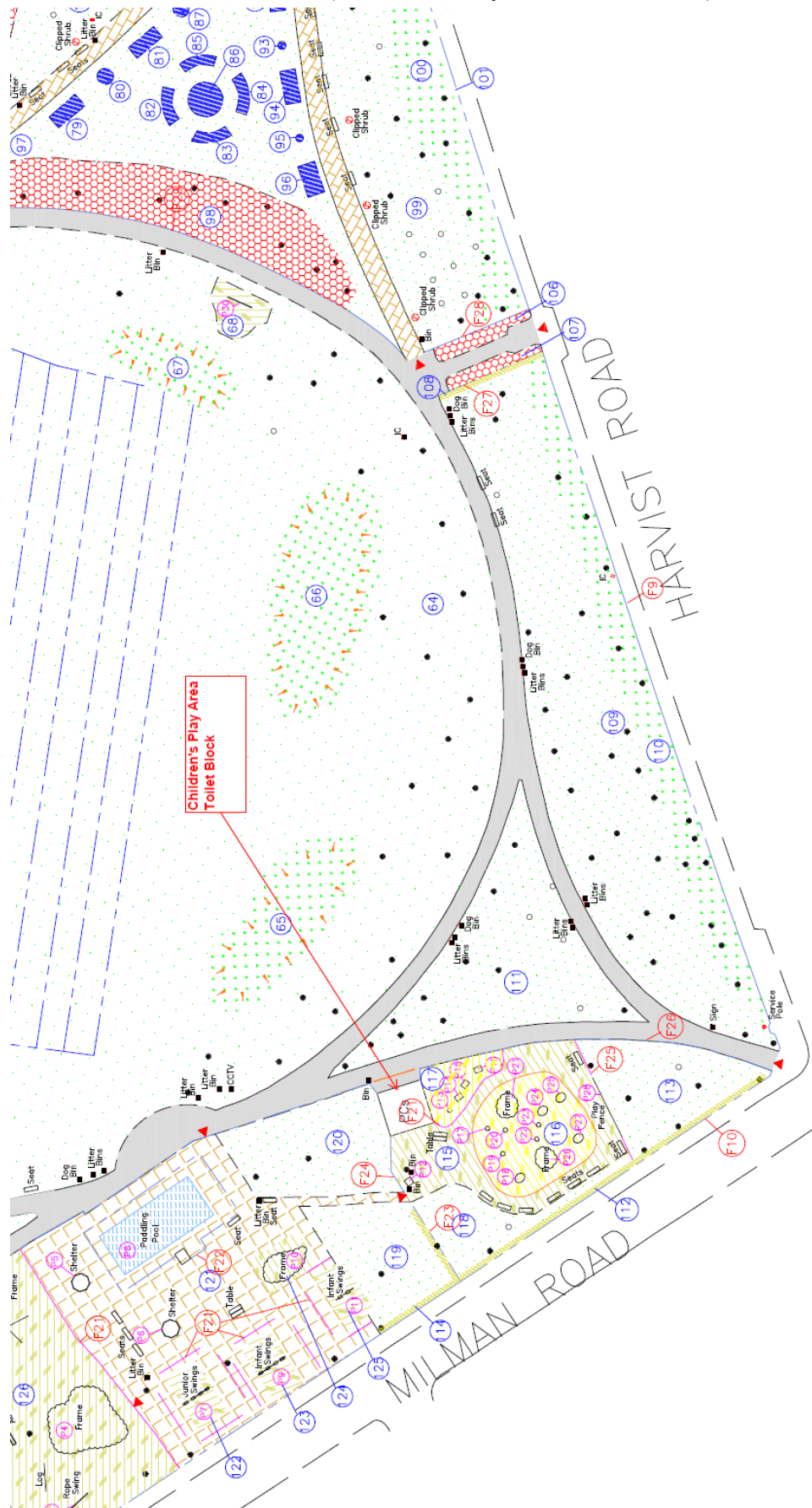
Mick Geurin on 07879 668 525/ 020 8969 5661

All queries regarding this project are to be directed to Building Surveyor **Marcus Odunlami** (07834 386 501)

Queens Park Location Plan



Queens Park Location Plan (Children's Play Area Toilet Block)



Example Toilet Block of Interest

Great Yarmouth Sea Front



Milfield Lane Toilets – Hampstead Heath

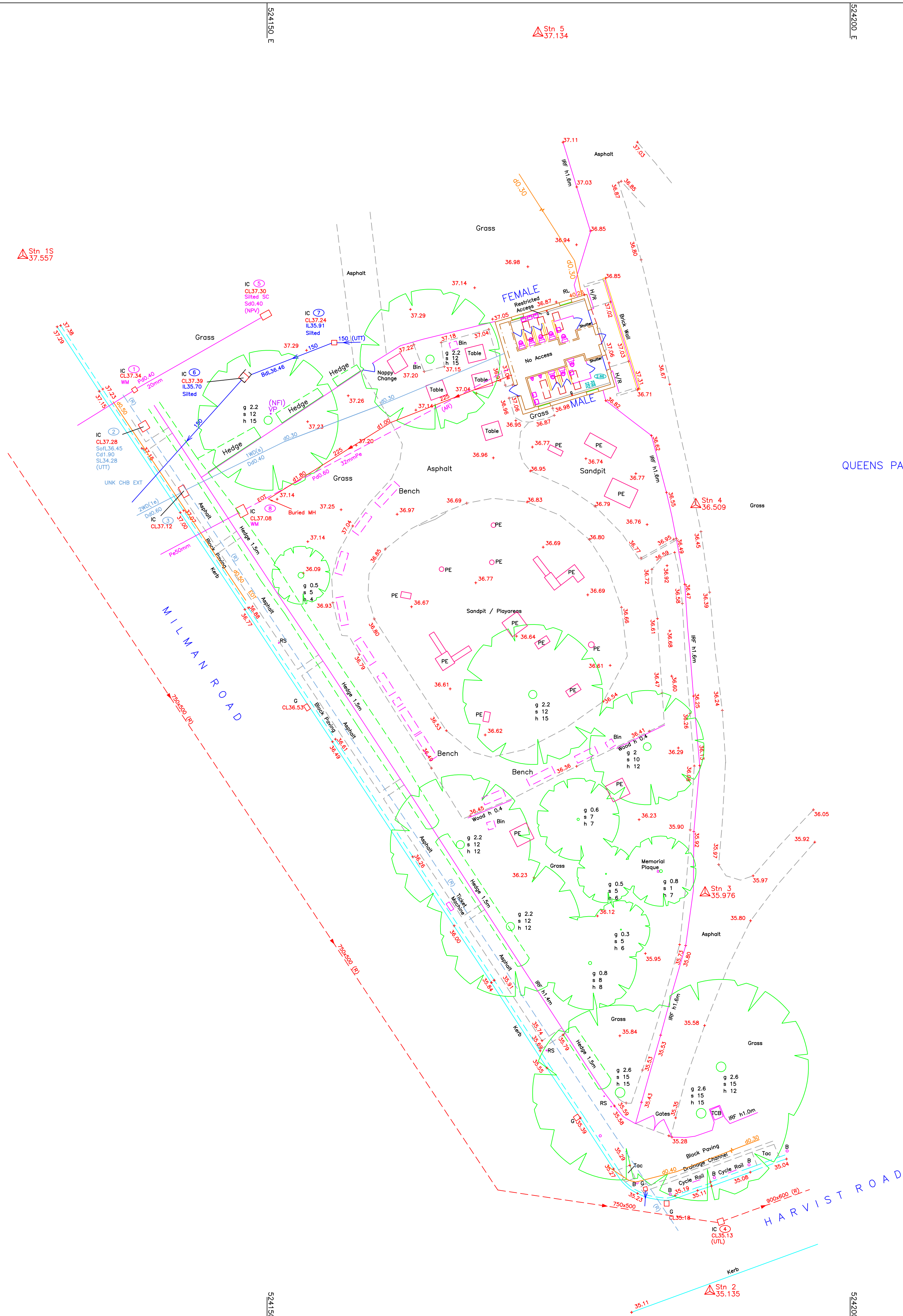
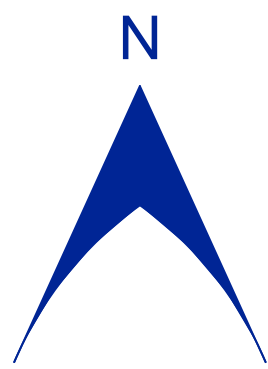


Burnham Beeches Toilets



Wall Planting Example





STANDARD ABBREVIATIONS

ACC	Air Conditioner	LB	Lamp Box
ATM	Automated Telling Machine	LP	Lamp Post
B	Bollard	Max	Maximum
BB	Bottle Beacon	MB	Manhole
BH	Borehole	MH	Manhole
Br	Brick	Min	Minimum
BrS	Brick Sides	Mtr	Master
BRW	Brick Retaining Wall	NB	Notice Board
BS	Bus Stop	NR	Name Plate
BT	Brick Telecom	OB	Open Boarded Fence
BW	Brick Wall	OH	Overhead
BWF	Buried Wire Fence	OSBM	Ordinance Survey Bench Mark
CBF	Close Boarded Fence	P	Post
CCTV	Close Circuit Television	PB	Plat Box
CIF	Corrugated Iron Fence	PE	Playground Equipment
CL	Cover Level	PL	Pavement Light
CLF	Chain Link Fence	PM	Parking Meter
Col	Column	PRF	Post and Rail Fence
Conc	Concrete	PS	Paving Stones
COW	Cable on Wall	PWF	Post and Wire Fence
CPS	Concrete Paving Slabs	RE	Rodding Eye
CTV	Cable Television IC	RD	Road Gully
d	depth	RS	Road Sign
DC	Dust Cover	RSJ	Roller Steel Joint
DH	Dust Height	RWP	Rain Water Pipe
DP	Down Pipe	s	spread
DIC	Drainage Channel	SB	Sign Board
EIC	Electrical Inspection Cover	SBM	Site Bench Mark
EJB	Electrical Junction Box	SC	Stop Cock
EP	Electricity Pole	SF	Security Fence
ER	Earthing Rod	SHB	Shrub Bed
ESG	Electrical Switchgear	SL	Surf Level
FB	Flower Bed	SO	Smoke Outlet
FH	Fire Hydrant	SP	Sign Post
FL	Floor Level	SV	Stop Valve
FT	Floodlight	T	Telephone
g	grft	Tac	Tackle Paving
G	Gully	TBM	Temporary Bench Mark
GC	Gas Cock	TCC	Telephone Call Box
GMA	Gas Meter	TCP	Traffic Control Post
GP	Gate Post	TIC	Telephone Inspection Cover
GV	Gas Valve	TJB	Telephone Junction Box
h	height	TL	Traffic Light
HR	Handrail	TLCB	Traffic Light Control Box
IB	Illuminated Bollard	TLC	Traffic Light Inspection Cover
IC	Inspection Cover	TP	Telephone Pole
IL	Invert Level	Typ	Typical
IRF	Iron Railings Fence	V	Vent
IRS	Illuminated Road Sign	VP	Vent Pipe
JB	Junction Box	W	Window
KD	Kerb Outlet	WM	Water Meter
L	Light	WV	Water Valve
RL	Roof Level		

SERVICE LEGEND

FOUL DRAINAGE	→
SURFACE WATER DRAINAGE	→
WATER	→
GAS	→
ELECTRICITY	→
TELEPHONE	→
CABLE TV	→
UNKNOWN SERVICE	→
UNDERGROUND CHAMBER	□

Electro-detection techniques have been used in the location of underground services. The results are not infallible and trial excavations must be carried out to confirm service identification, position and particularly depths. Although all reasonable effort has been made in searching available record drawings the completeness of the underground services information cannot be guaranteed.

Unless otherwise stated, drainage pipes are 100mm diameter.

Due to the inherent instability of paper materials, drawings plotted on paper may be stretched and distorted - dimensions scaled from paper plots should therefore be treated with caution

This drawing has been produced for the purpose of the original commissioning agent. Plowman Craven Limited will accept no responsibility for details that are subsequently found to be the consequence of undisclosed facts or that were observed from view at the time of survey or that have been altered since the survey.

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ISSUES & REVISIONS

Issue	Details	By	Date
A	Original Issue		PW 07/10/2016

This survey is commensurate with band F accuracy, as outlined in the RICS survey detail accuracy banding table. All levels are in metres and are above Ordnance Survey Newlyn Datum derived by multiple network RTK GPS observations. The survey grid shown on this drawing is positioned on Ordnance Survey (OS) National Grid, obtained by multiple network RTK GPS observations. Toilet plans have been drawn from measurements taken on site with areas that were unable to be accessed infilled with detail from drawing no C10/G/E/QP/E1. Benches and bins which are not fixed to the ground have been shown in a dashed linestyle. All quoted dimensions are in metres. Drawing units are metres.

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PROJECT TITLE

Queens Park
NW6, London

Site Survey - Playground

PRESENTATION SCALE 1:200 @ A1

DATE OF ORIGINAL SURVEY 30 Sept 2016

PC PROJECT No. 36694 CHECKED DGR

DRAWING No. ISSUE

36694T-01 A

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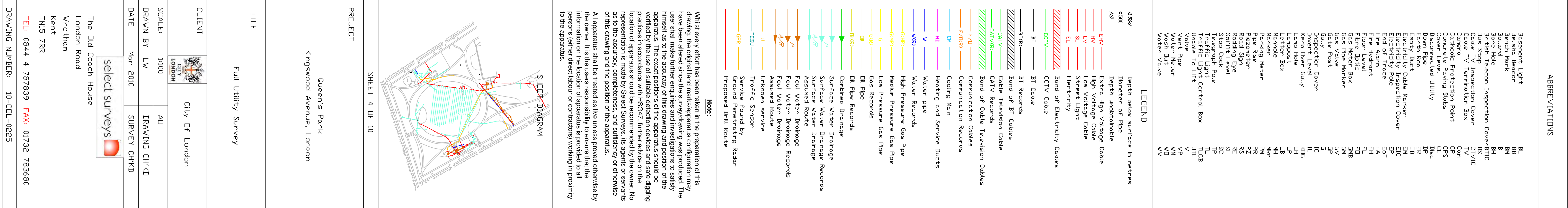
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Existing WC building from the Path



Existing WC building



Internal View: Existing WC building



Internal View: Existing WC building



Queen's Park Cafe WC's



Queen's Park Cafe WC's

APPENDIX B: PHOTOGRAPHS