

Committee(s)	Dated:
Planning and Transportation	26 th October 2021
Subject: Delegated decisions of the Chief Planning Officer and Development Director	Public
Report of: Chief Planning Officer and Development Director	For Information

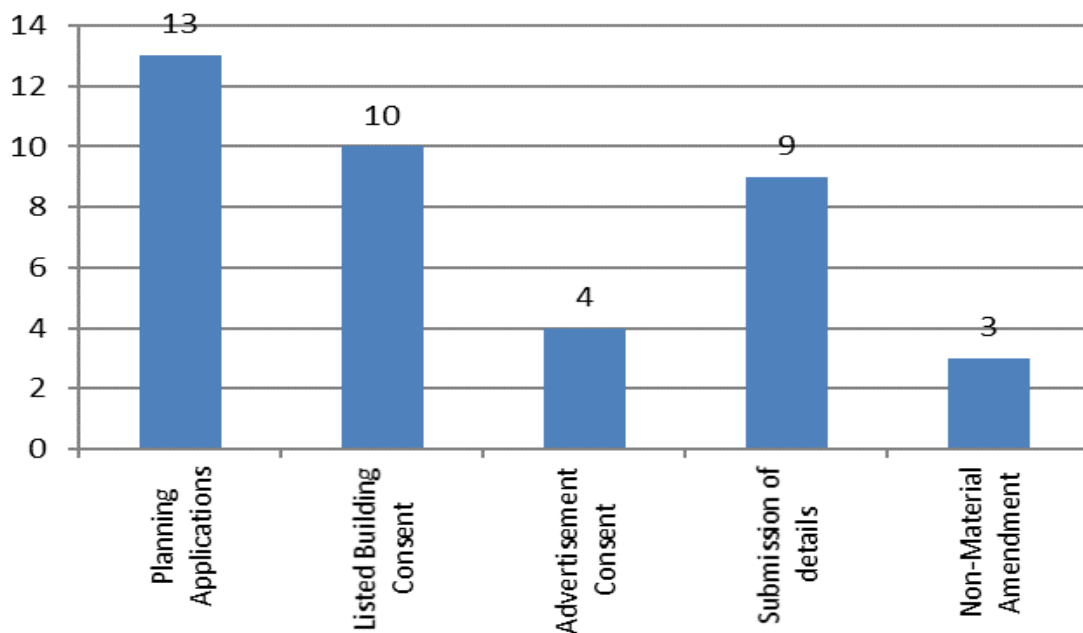
Summary

Pursuant to the instructions of your Committee, I attach for your information a list detailing development and advertisement applications determined by the Chief Planning Officer and Development Director or those so authorised under their delegated powers since my report to the last meeting.

In the time since the last report to Planning & Transportation Committee Thirty Nine (39) matters have been dealt with under delegated powers. Ten (10) relate to works to Listed Buildings, Four (4) applications for Advertisement Consent, Nine (9) relate to conditions of previously approved schemes, and Three (3) applications for Non-Material Amendments.

Thirteen (13) Full applications for development have been approved including Two (2) change of use and 201sq.m of created floorspace.

Breakdown of applications dealt with under delegated powers



Any questions of detail arising from these reports can be sent to plans@cityoflondon.gov.uk.

Details of Decisions

Registered Plan Number & Ward	Address	Proposal	Decision & Date of Decision	Applicant/ Agent Name
21/00651/FULL Aldgate	6 Lloyd's Avenue London EC3N 3AX	Installation of one new external condenser unit within the lightwell of the building.	Approved 07.10.2021	CLS Lloyds Avenue Limited
21/00652/LBC Aldgate	6 Lloyd's Avenue London EC3N 3AX	(i) Removal of existing modern internal partitions and erection of new replacement glazed internal partitioning to the rear right unit of the ground floor; (ii) Installation of two new internal air conditioning units inside the building and one new external condenser unit within the building lightwell.	Approved 07.10.2021	CLS Lloyds Avenue Limited
21/00201/LBC Bassishaw	65 - 65A Basinghall Street London EC2V 5DZ	Alteration of 65/65a Basinghall Street to allow for the removal of the existing walkway bridge over Basinghall Street and the installation of new City Walkway bridge to be delivered as part of the redevelopment of 55 Basinghall/40 Basinghall Street (associated reference 21/00116/FULMAJ).	Approved 29.09.2021	Knighton Estates Ltd

18/00418/ADVT Billingsgate	3 Minster Court London EC3R 7DD	Retention and display of (i) two internally illuminated fascia signs measuring 0.83m high by 3.5m wide and located at a height of 3m above pavement level and; (ii) two internally illuminated projecting signs measuring 0.71m high by 0.61m wide and located at a height of 3m above pavement level on the south elevation.	Approved 28.09.2021	Brewdog Bars Ltd
21/00167/PODC Bishopsgate	Site Bounded By Stone House And Staple Hall Bishopsgate Devonshire Row London EC2	Submission of the Ballroom Management Plan pursuant to Schedule 1 Paragraph 22.1 of the Deed of Variation dated 27 July 2018 (Planning Application Reference: 11/00905/FULL as amended by 14/01151/FULL and 17/00623/FULL).	Approved 23.09.2021	UOL Group Ltd
21/00075/MDC Bishopsgate	1 - 2 Broadgate London EC2M 2QS	Details of the proposed sanitation system within the building and the proposed sewer vent connection systems below ground pursuant to condition 38 of planning permission 18/01065/FULEIA dated 28/03/2019.	Approved 21.09.2021	Bluebutton Properties UK Limited
21/00388/FULL Bishopsgate	Sun Street Passage London EC2A 2JN	Installation of a platform lift and enclosure at Sun Street Passage and associated works.	Approved 30.09.2021	Bluebutton Developer Company (2012) Limited

<p>21/00424/PODC Bishopsgate</p>	<p>150 Bishopsgate London EC2M 4AF</p>	<p>Submission of the Estate Management Strategy pursuant to Schedule 1 Paragraph 10 of the Deed of Variation dated 01 February 2017 (Planning Application Reference: 11/00905/FULL as amended by 14/01151/FULL, 17/00623/FULL and 21/00061/FULL).</p>	<p>Approved 23.09.2021</p>	<p>UOL Development (UK) Ltd And Pan Pacific Hotel Limited</p>
<p>21/00611/MDC Bishopsgate</p>	<p>186 - 190 Bishopsgate London EC2M 4NR</p>	<p>Acoustic Report specifying the materials and constructional methods to be used to limit noise levels in the upper floor bedrooms attributable to the Class A use, pursuant to Condition 3 of planning permission 19/01359/FULL dated 28.01.2021</p>	<p>Approved 21.09.2021</p>	<p>Five Guys JV Ltd.</p>
<p>21/00663/FULL Bishopsgate</p>	<p>150 Bishopsgate London EC2M 4AF</p>	<p>Application under Section 73 of the Town and Country Planning Act 1990 to vary condition 22 of planning permission 21/00061/FULL (dated 30/03/2021) to facilitate a change of use of the Class A3 premises at 3rd floor level of Devonshire House to Class A3 (Restaurants and Cafes) and/or a Bar (Sui Generis, as set out in the Town and Country Planning (Use Classes)</p>	<p>Approved 28.09.2021</p>	<p>Pan Pacific London Hotel Ltd</p>

		(Amendment) (England) Regulations 2020).		
21/00743/NMA Bishopsgate	186 - 190 Bishopsgate London EC2M 4NR	Non-material amendment under Section 96A of the Town and Country Planning Act 1990 (as amended) to planning permission 19/01359/FULL dated 28.01.2021 to enable an amendment to the details of the external extract duct.	Approved 28.09.2021	Five Guys JV Ltd
21/00774/NMA Bishopsgate	Exchange House 12 Primrose Street London EC2A 2EG	Non-material amendment under Section 96A of the Town and Country Planning Act 1990 (as amended) on planning permission 21/00052/FULL dated 25/05/2021, to extend the existing lift core in lieu of the consented platform lift, removal of fixed seating to allow for flexible space, increase in planting around edge of terrace, introduction of servery, and removal of BMU steels. Proposed removal of condition 4(a) relating to the platform lift and condition 4(f) relating to the access stair, and addition of details of servery and access gate to condition 4(c).	Approved 05.10.2021	Bluebutton Properties UK Limited

21/00623/FULL Bread Street	Warwick Court 5 Paternoster Square London EC4M 7DX	Lowering of the existing stone wall to the Warwick Lane entrance, relocation of oil and foam inlet to serve the existing oil store on Warwick Lane, and new air intake louvres to the level 7 roof.	Approved 05.10.2021	Mitsubishi Estates London Limited
21/00413/FULL Bridge And Bridge Without	33 - 39 Eastcheap London EC3M 1DT	Change of use of the basement unit at 37-39 Eastcheap from restaurant (Use Class E) to drinking establishment (Sui Generis) and amalgamation with the basement unit at 33-35 Eastcheap resulting in the creation of a single unit for a restaurant (Use Class E) at the ground floor (part) unit at 37-39 Eastcheap.	Approved 21.09.2021	Qualibest Eastcheap Ltd
21/00414/LBC Bridge And Bridge Without	33 - 39 Eastcheap London EC3M 1DT	Internal alterations to 33-35 Eastcheap at ground and basement levels including the demolition of an internal wall and stair and the amalgamation with the basement unit at 37-39 Eastcheap and associated works.	Approved 21.09.2021	Qualibest Eastcheap Ltd
21/00285/FULL Broad Street	83 Old Broad Street London EC2M 1PR	Installation of two new extract grilles and renovations to existing shopfront for a new colour scheme.	Approved 21.09.2021	Greggs Plc

21/00670/FULL Candlewick	Capital House 85 King William Street London EC4N 7BL	Minor external alterations at sixth floor level to provide access to the terrace.	Approved 07.10.2021	Barings Real Estate.
21/00354/FULL Castle Baynard	Hamilton House 1 Temple Avenue London EC4Y 0HA	Installation of replacement timber framed windows and doors at fifth floor level and associated external refurbishment works.	Approved 21.09.2021	Dorrington Plc
21/00355/LBC Castle Baynard	Hamilton House 1 Temple Avenue London EC4Y 0HA	Installation of replacement timber framed windows and doors at fifth floor level and associated external refurbishment works.	Approved 21.09.2021	Dorrington Plc
21/00760/MDC Castle Baynard	Land Bounded By Fleet Street, Salisbury Court, Salisbury Square, Primrose Hill & Whitefriars Street, London, EC4Y	Submission of Scheme of Protective Works Management Plan pursuant to condition 18 of planning permission 20/00997/FULEIA dated 25th August 2021.	Approved 05.10.2021	City of London Corporation
20/00977/MDC Coleman Street	21 Moorfields London EC2Y 9AE	Submission of details of a Construction Environmental Management Plan pursuant to condition 9 (in part) of planning application dated 04/05/2018 (app. no. 17/01095/FULEIA).	Approved 28.09.2021	LS 21 Moorfields Development Management

<p>21/00290/LBC Coleman Street</p>	<p>1-5 London Wall Buildings London Wall London EC2M 5PG</p>	<p>Application under Section 19 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended) to vary condition 7 (approved plans) of listed building consent dated 24/09/2020 (19/01346/LBC) to incorporate minor material amendments comprising: (i) reconfiguration of the existing floorplate to partially infill lightwell 05 from basement to level 08; (ii) partial infill of extension of lightwell 04 from level 02-08; (iii) relocation of plant at level 07 and 08; (iv) demolition and remodelling from the existing chimney to core 05; (v) restoration of the balustrade and reconstruction of the dormer window to the southern facade; (vi) extension of the roof terrace and creation of additional terraces at roof level and in the base of the lightwell; (vii) installation of a new treatment to lightwell 05 facade and a mansard roof system; (viii) reconfiguration of access to cycle storage and facilities, including relocation of lifts; and (ix) provision of additional</p>	<p>Approved 28.09.2021</p>	<p>AG EL LWB B.V.</p>
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		amenities inclusive of cycle parking, showers, lockers and waste storage.		
21/00272/FULMAJ Coleman Street	1-5 London Wall Buildings London Wall London EC2M 5PG	Application under Section 73 of the Town and Country Planning Act 1990 to vary condition 2 (approved floorspace figures), 29 (cycle parking) and 49 (approved plans) of planning permission dated 24/09/2020 (19/01345/FULMAJ) to incorporate minor material amendments comprising: (i) reconfiguration of the existing floorplate to partially infill lightwell 05 from basement to level 08; (ii) partial infill of extension of lightwell 04 from level 02-08; (iii) relocation of plant at level 07 and 08; (iv) demolition and remodelling from the existing chimney to core 05; (v) restoration of the balustrade and reconstruction of the dormer window to the southern facade; (vi) extension of the roof terrace and creation of additional terraces at roof level and in the base of the lightwell; (vii) installation of a new treatment to lightwell 05 facade and a mansard roof system; and (viii) provision of	Approved 28.09.2021	AG EL LWB B.V.

		additional amenities inclusive of cycle parking, showers, lockers and waste storage.		
21/00318/MDC Coleman Street	21 Moorfields London EC2Y 9AE	Submission of details of the position and size of the green roof(s), the type of planting and the contribution of the green roof(s) to biodiversity and rainwater attenuation pursuant to condition 27 of planning permission dated 04/05/2018 (app. no. 17/01095/FULEIA).	Approved 28.09.2021	LS 21 Moorfields Development Management
21/00587/LBC Cripplegate	332 Ben Jonson House Barbican London EC2Y 8NQ	Internal refurbishment including installation of full height and dwarf height partition walls; installation of suspended ceiling	Approved 21.09.2021	Mr Alex Bultitude
21/00620/MDC Cripplegate	Former Richard Cloudesley School Golden Lane Estate London EC1Y 0TZ	Submission of Fire Safety Management Plan and Fire Strategy Report pursuant to condition 48 of planning permission 17/00770/FULL dated 19th July 2018.	Approved 30.09.2021	ISg
21/00648/LBC Cripplegate	21 Cromwell Tower Barbican London EC2Y 8DD	Refurbishment and redecoration including strip out and replacement of kitchen and bathroom units, fixtures and fittings, replacement of existing internal doors, removal of existing partition walls, installation of new partition walls,	Approved 07.10.2021	Dr. James O'Brien

		suspended ceiling and electrics.		
21/00494/ADVT Dowgate	64 Cannon Street London EC4N 6AE	Installation and display of: i) three non-illuminated fascia signs, measuring 0.59m (w) by 0.19m (h); ii) one externally illuminated fascia sign, measuring 0.59m (w) by 0.19m (h); iii) one externally illuminated projecting sign, measuring 0.6m by 0.6m, at a height of 2.8m above the pavement.	Approved 23.09.2021	Retail Design Solutions Ltd
21/00495/FULL Dowgate	Cannongate House 60-64 Cannon Street London EC4N 6AE	Repositioning of main entrance on Cannon Street, replacement grilles to Cannon Street elevation, new entrance doors on College Hill and Cloak Lane, and other minor works.	Approved 07.10.2021	Planning Potential Ltd
20/00700/FULL Farringdon Within	26-30 Morley House Holborn Viaduct London EC1A 2AT	Application under Section 73 of the Town & Country Planning Act 1990 to vary Condition 41 (Approved Plans) of planning permission dated 17th August 2020 (Ref. 17/00165/FULMAJ) to enable minor material amendments to the approved scheme including: (1) Amended hotel entrances on Holborn Viaduct; (2) Internal reconfiguration of hotel layout; (3) Internal reconfiguration to	Approved 23.09.2021	MH Viaduct LP Acting Through Its General Partner

		provide an internalised access link between the ground floor of the hotel and the office workspace in the lower levels of City Temple; (4) Internal reconfiguration on ninth floor from hotel guestrooms to hotel Restaurant / Bar (private guest only); (5) Alterations to address design development changes to ceiling heights, parapets and roof plant areas; (6) associated amendments to facades; (7) the introduction of a Phasing Plan to allow a phased approach to the development and (8) a revised energy strategy.		
21/00487/LBC Farringdon Within	54 Farringdon Street London EC4A 4BD	Installation of: (i) one non illuminated projecting sign; (ii) two wall lights; (iii) one illuminated menu board; and (iv) one Victorian retractable awning; and Removal of: (v) illuminated fascia sign behind shopfront glazing; and (vi) associated surface mounted cabling.	Approved 23.09.2021	54Farringdon Limited
21/00507/ADVT Farringdon Within	54 Farringdon Street London EC4A 4BD	Installation and display of one internally illuminated menu board of 0.49m high by 0.367m wide by 0.04m deep.	Approved 23.09.2021	54Farringdon Limited

21/00512/FULL Farringdon Within	Apartment 6.1 50 Little Britain London EC1A 7BR	Proposed single storey extension of 3.06m height to the terrace on the west side of flat 6.1 at sixth floor level, providing an additional 32m2 GIA living space.	Approved 23.09.2021	Mrs. Svetlana Landsberg
21/00551/LBC Farringdon Within	Flat 16 & 17 St Bartholom ew House 58 West Smithfield London EC1A 9DS	The creation of an opening (1500mm wide x 2300mm high) through an internal wall between flats 16 & 17 and other internal works associated with the amalgamation of flats 16 and 17 to create a single residential unit.	Approved 05.10.2021	Keith Dawkins
21/00721/NMA Farringdon Within	Stationers Hall Stationers Hall Court London EC4M 7DD	Non-material amendment under Section 96A of the Town and Country Planning Act 1990 (as amended) to planning permission ref. 20/00686/FULL dated 9 March 2021, to remove the requirement to submit details under Condition 2 (details for enclosure) and to amend Condition 8 (approved drawings) to reflect alterations to the enclosure, the roof and plant units.	Approved 21.09.2021	The Worshipful Company of Stationers
21/00400/LBC Farringdon Without	Poultry Market East Poultry Avenue London EC1A 9LH	Works associated with the East and West Poultry Avenue canopies including (i) temporary reinstatement of a covered walkway over East Poultry Avenue; (ii)	Approved 07.10.2021	City of London Corporation

		dismantling of a concrete gutter and flat roof area on East Poultry Avenue, (iii) dismantling of a concrete gutter on West Poultry Avenue and (iv) works of making good to the west elevation of the Central Market.		
21/00688/ADVT Farringdon Without	311 - 313 High Holborn London WC1V 7BN	Installation and display of: (i) one internally illuminated fascia sign measuring 0.406m high by 1.041m wide at a height above ground of 2.91m; (ii) two non-illuminated fascia signs measuring 0.275m high by 1.932m wide at a height above ground of 3.835m.	Approved 07.10.2021	Pegasus Planning Group Ltd
21/00725/MDC Queenhithe	Millennium Bridge House 2 Lambeth Hill London EC4V 4AG	Submission of details of foundation and piling configuration pursuant to condition 9 of the planning permission dated 8 March 2021 (application number 20/00214/FULMAJ)	Approved 23.09.2021	AG Beltane MBH B.V.
21/00510/FULL Vintry	Offices Walbrook Wharf 79 - 83 Upper Thames Street London EC4R 3TD	Change of use of part ground floor reception area at west end of building to UKPN electrical substation room (Sui Generis) (25.0 sq.m); and alterations to west facade for the installation of two new vents and steel door in association with proposed electrical substation.	Approved 23.09.2021	City of London Corporation

