



Custom House

Planning & Transportation Committee

26 October 2021



Site location plan



- Grade II*
- Grade II
- Grade I

Listed buildings in local setting



Existing view – front elevation



Existing View from the River Thames in the Upper Pool of London



Existing view from Lower Thames Street (looking south west)



Existing view of pavement outside East Block on Upper Thames Street (looking west)



Existing view from pavement outside Centre Block on Lower Thames Street (looking west)



Existing view of Water Lane with servicing entrance on left and Sugar Quay residential entrance on right (looking north)



Existing view of 'land adjacent to Old Billingsgate Walk' with reinstated museum entrance on left (looking south)



Existing view from Lower Thames Street of Old Billingsgate Walk (right) and 'land adjacent to Old Billingsgate Walk (left), looking south.



Existing view of quayside from current car park (looking north west)



Existing view of current car park adjacent to servicing bay (looking west)



Existing view from Sugar Quay Jetty across Custom House Quay (looking north west)



Existing View from London Bridge (looking north east)



Existing View from London Bridge (looking north east)



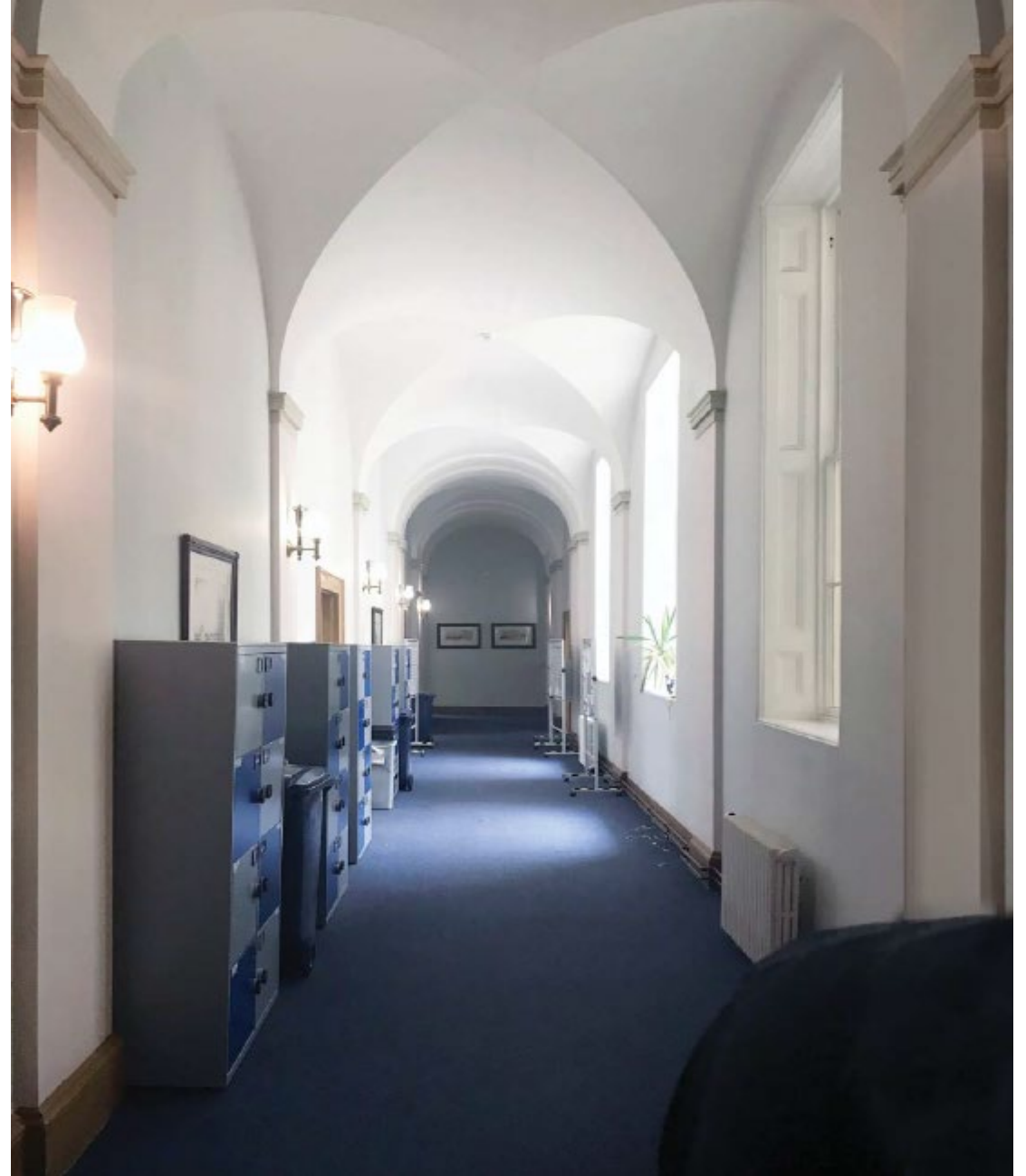
Existing View from Tower Bridge (looking north west)



Long Room photographs



Robing Room Existing photographs



Existing Photographs : Internal corridor



Local views, from Lower Thames Street alongside Old Billingsgate (above), from St Dunstan's Hill and Garden (left and right)





Historical images : David Laing's original (Lower) Thames Street elevation drawing (left); Lower Thames Street context elevation dated 1828 and early 20th Century (bottom left and right)





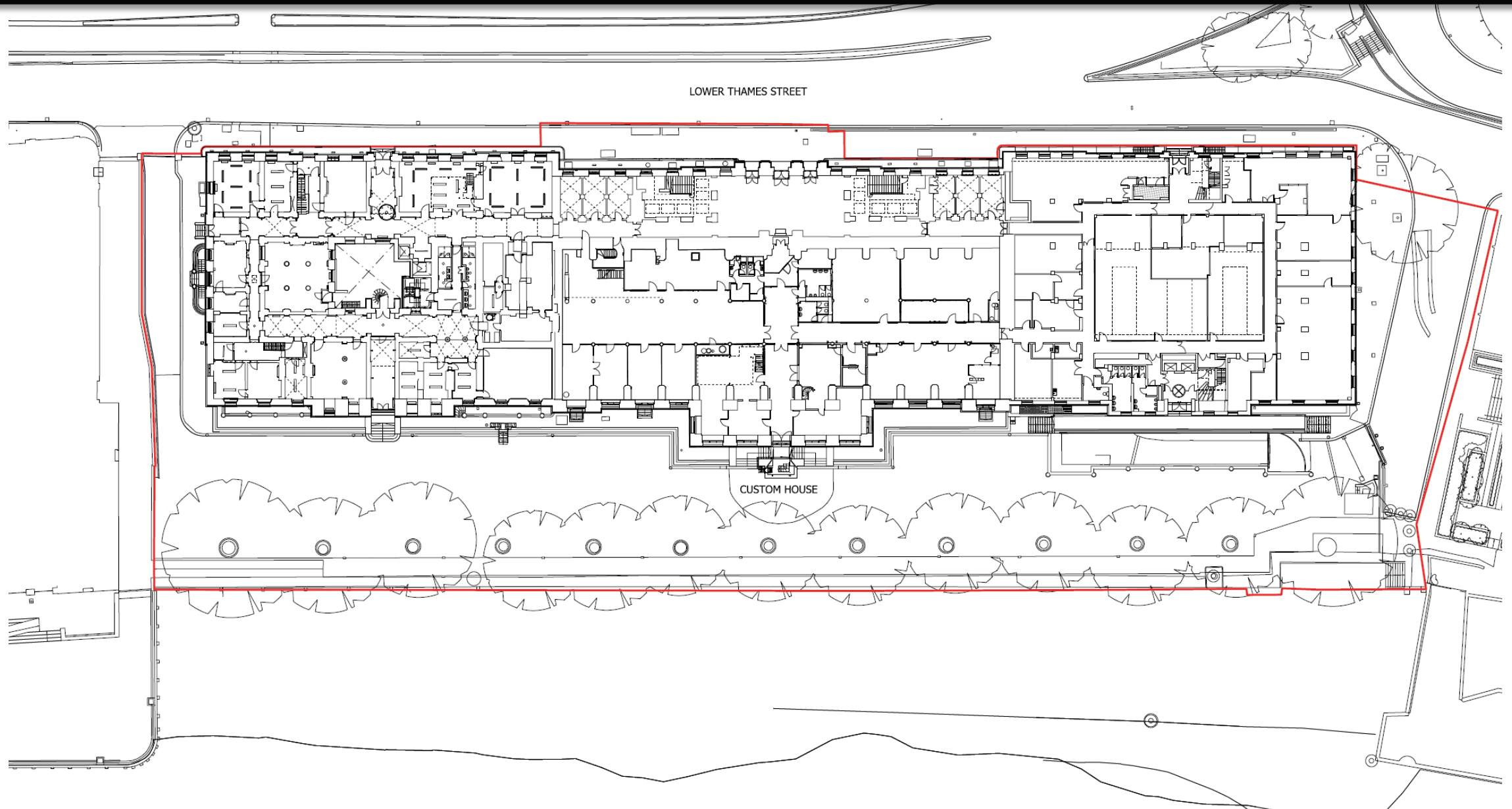
Historical Image : Principal facade seen from the Upper Pool of the River Thames (unknown 19th Century date)



Historical Images : Long Room
(1808 image of Long Room by
Pugin and Rowlandson (left).
C.1840 image of bustling Long
Room by Thomas Shepherd
(below)

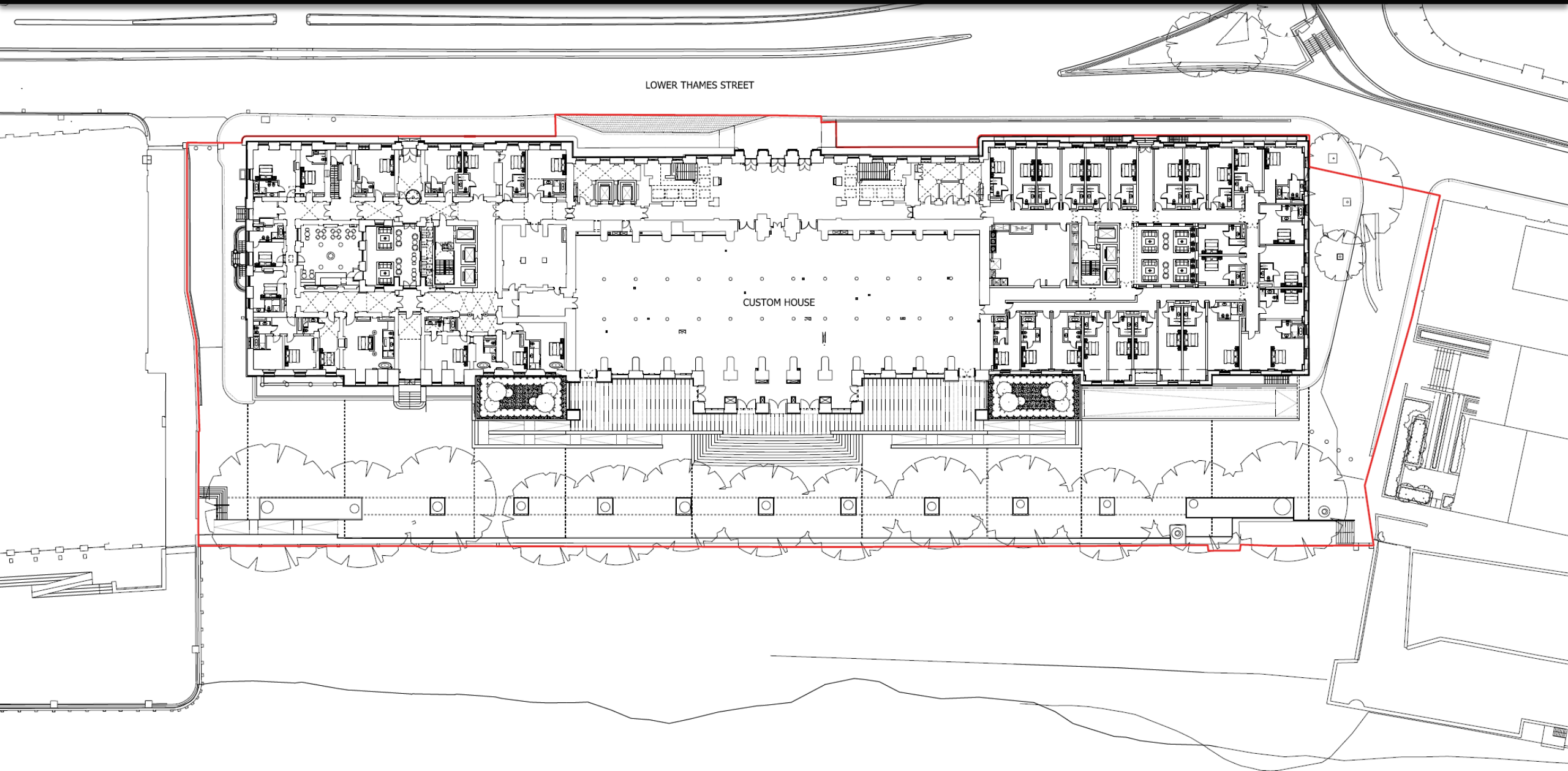


Custom House

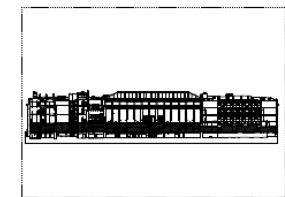


Site location plan - existing

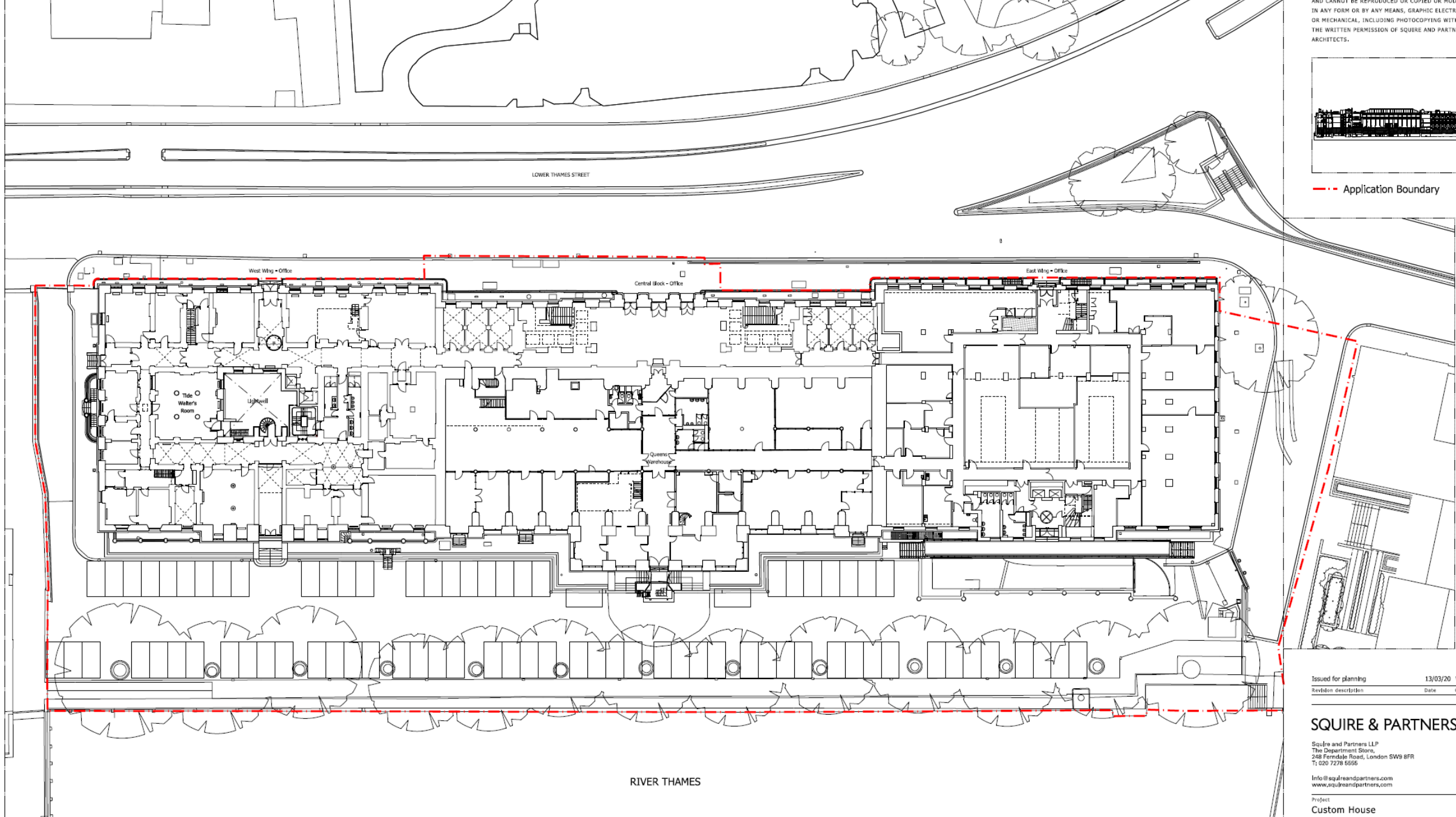
Custom House



Site location plan - proposed



--- Application Boundary



Issued for planning	13/03/20	WS	A
Revision description	Date	Check	Rev

SQUIRE & PARTNERS

Squire and Partners LLP
The Department Store,
248 Finsdale Road, London SW9 8PR
T: 020 7278 6555

Info@squireandpartners.com
www.squireandpartners.com

Project
Custom House

Ground floor plan - existing

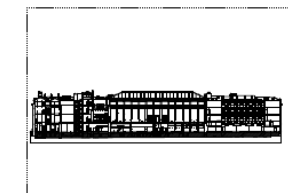
[illegible]

Revised for Planning	06/08/21	WS	J
Revised for Planning	28/05/21	WS	I
Revised for Planning	22/04/21	WS	H
Revised for Planning	27/11/20	WS	G
Revised for Planning	05/05/20	WS	F
Issued for information	06/04/20	WS	-
Issued for planning	13/03/20	WS	E
Revised for planning	29/11/19	WS	D
Issued for comments	08/08/19	WS	C
Issued for comments	09/05/19	VH	B
Issued for comments	18/04/19	WS	A

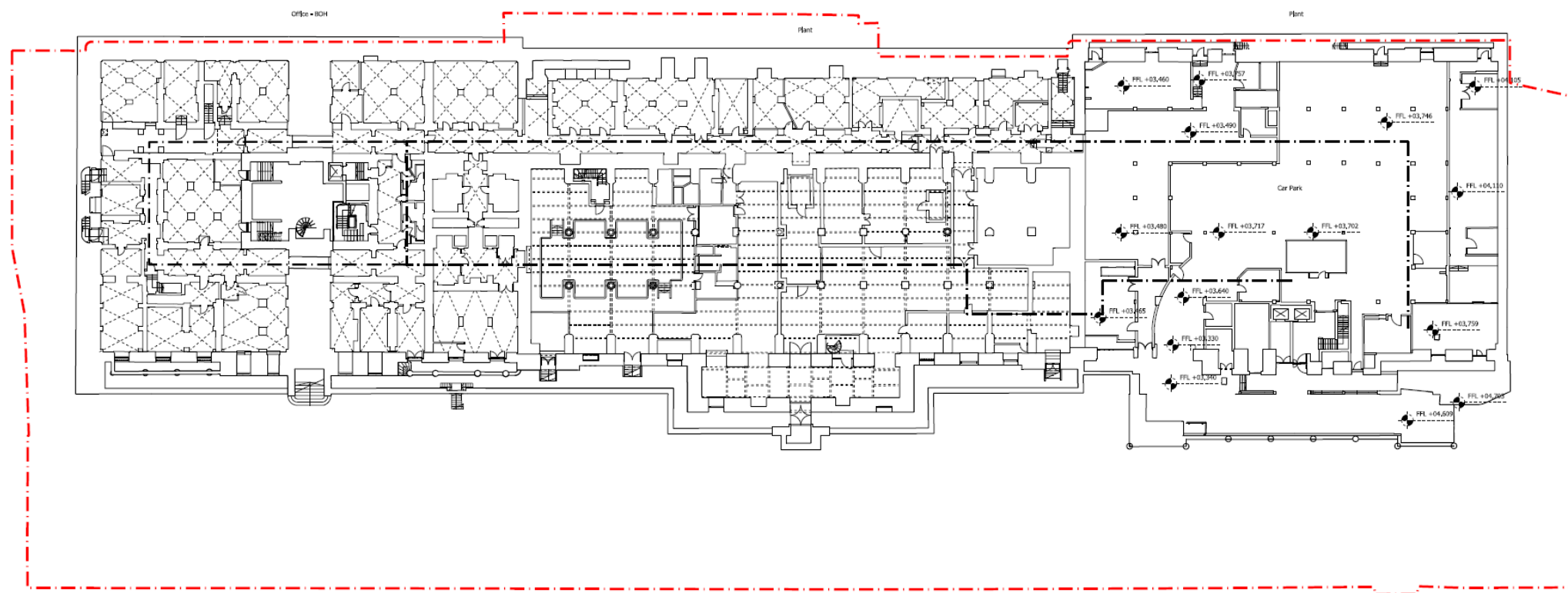
Squire and Partners LLP
The Department Store,
248 Ferndale Road, London SW9 8FR
T: 020 7278 5555

Project
Custom House

Ground floor plan - proposed



--- Application Boundary



Issued for planning	13/03/20	WS	A
Revision description	Date	Check	Rev

SQUIRE & PARTNERS

Squire and Partners LLP
The Department Store,
248 Ferndale Road, London SW9 8FR
T: 020 7278 6606

Info@squireandpartners.com
www.squireandpartners.com

Project:
Custom House

Basement floor plan - existing

[illegible]

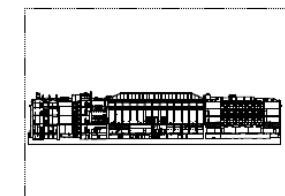
Revised for Planning	06/08/21	WS	K
Revised for Planning	28/05/21	WS	J
Revised for Planning	22/04/21	WS	I
Revised for Planning	27/11/20	WS	H
Revised for Planning	05/05/20	WS	G
Issued for information	06/04/20	WS	-
Issued for planning	13/03/20	WS	F
Revised for Planning	29/11/19	WS	E
Issued for information	05/11/19	WS	D
Issued for comments	08/08/19	WS	C
Issued for comments	09/05/19	VH	B
Issued for comments	18/04/19	WS	A

Revision description	Date	Check	Rev
----------------------	------	-------	-----

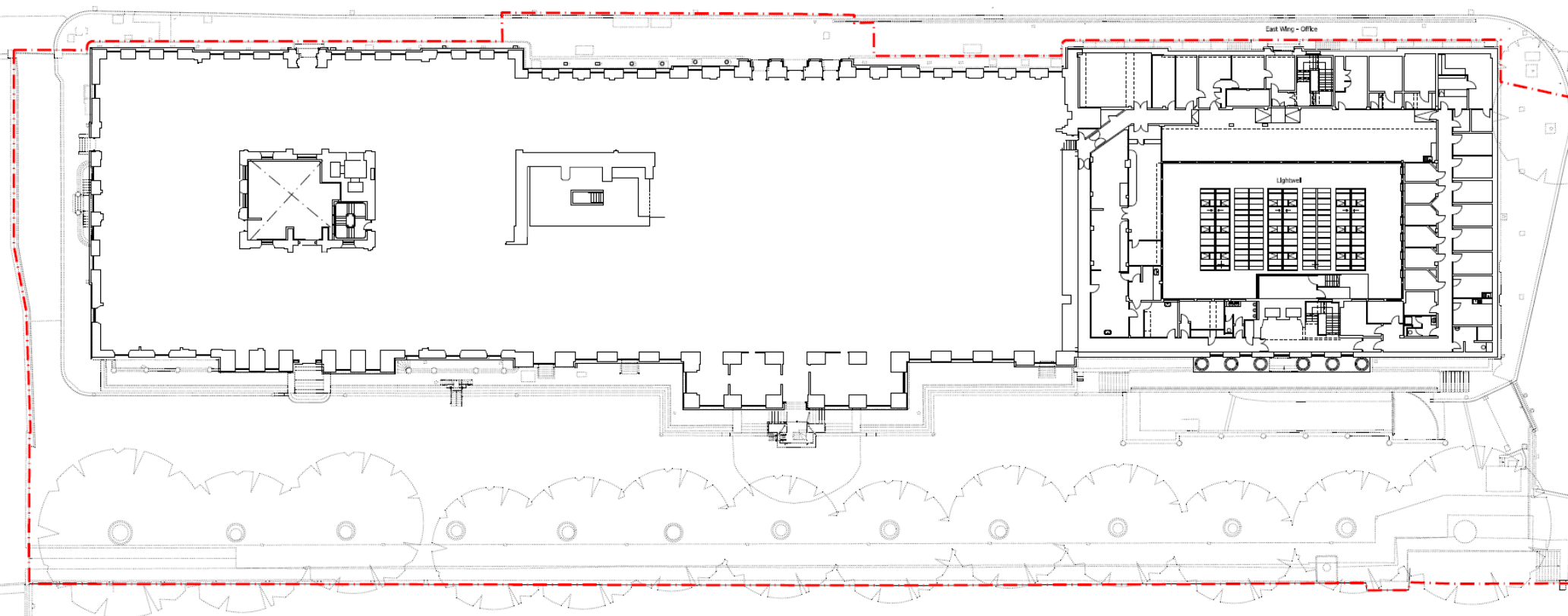
Squire and Partners LLP
The Department Store,
248 Ferndale Road, London SW9 8FR
T: 020 7278 5555

Project
Custom House

Basement floor plan - proposed



--- Application Boundary



Revision description	Date	Check	Rev
Issued for Planning	13/03/20	WS	A

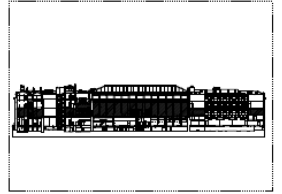
SQUIRE & PARTNERS

Squire and Partners LLP
The Department Store,
248 Ferndale Road, London SW9 8FR
T: 020 7278 5556

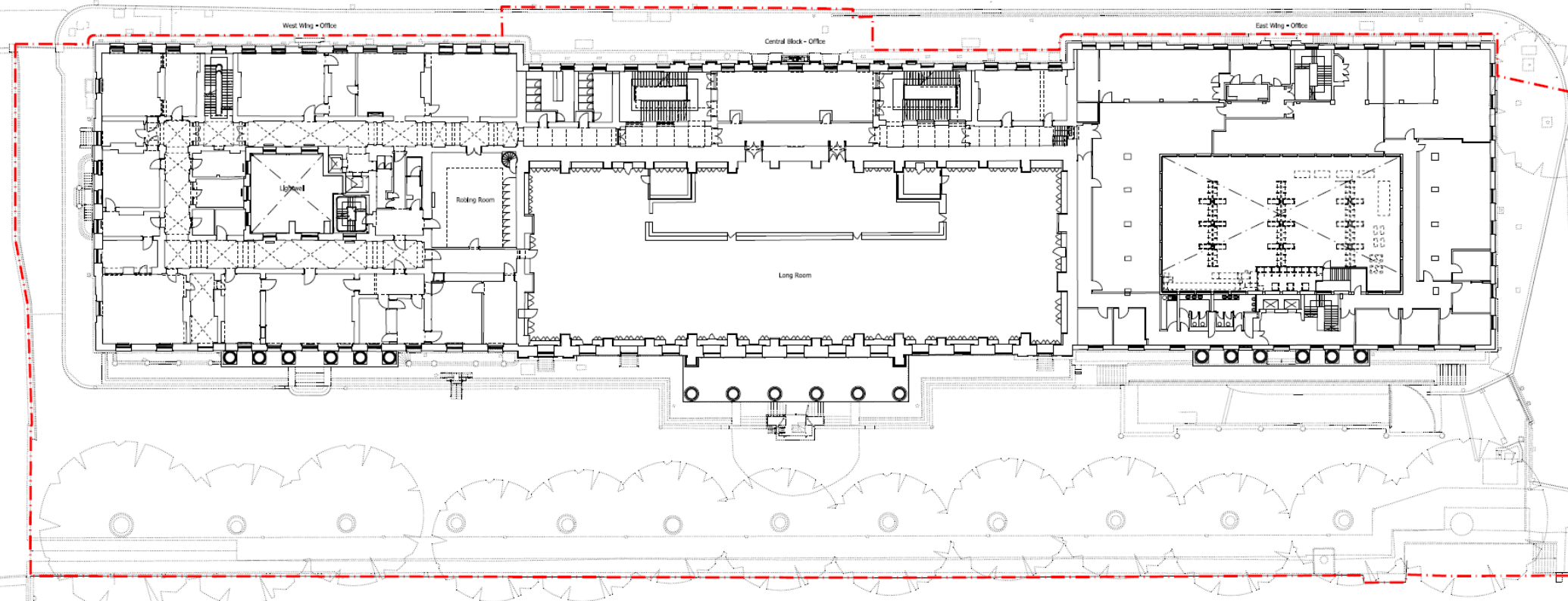
Info@squireandpartners.com
www.squireandpartners.com

Project
Custom House

Mezzanine floor plan - existing



--- Application Boundary



Issued for planning	13/03/20	WS	A
Revision description	Date	Check	Rev

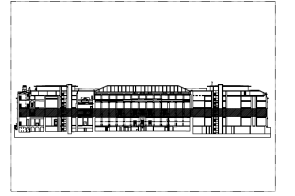
SQUIRE & PARTNERS

Squire and Partners LLP
The Department Store,
248 Ferndale Road, London SW9 8FR
T: 020 7276 5556

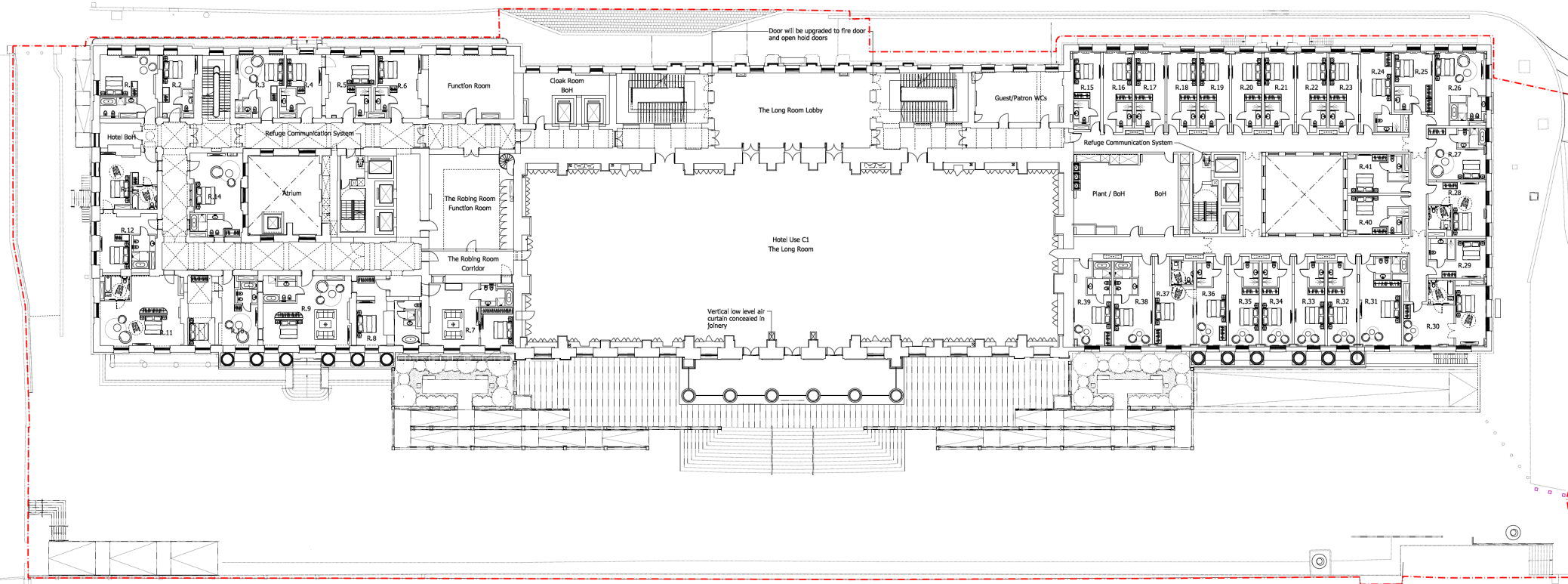
Info @ squireandpartners.com
www.squireandpartners.com

Project
Custom House

First floor plan - existing



--- Application Boundary



Revised for Planning	06/08/21	WS	J
Revised for Planning	28/05/21	WS	I
Revised for Planning	22/04/21	WS	H
Revised for Planning	08/01/21	WS	G
Revised for Planning	05/05/20	WS	F
Issued for information	06/04/20	WS	-
Issued for planning	13/03/20	WS	E
Revised for Planning	29/11/19	WS	D
Issued for comments	08/08/19	WS	C
Issued for comments	09/05/19	VH	B
Issued for comments	18/04/19	WS	A
Revision description	Date	Check	Rev

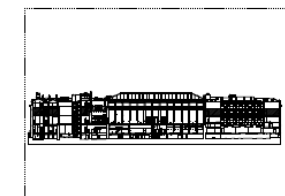
SQUIRE & PARTNERS

Squire and Partners LLP
The Department Store,
248 Ferndale Road, London SW9 8FR
T: 020 7278 5555

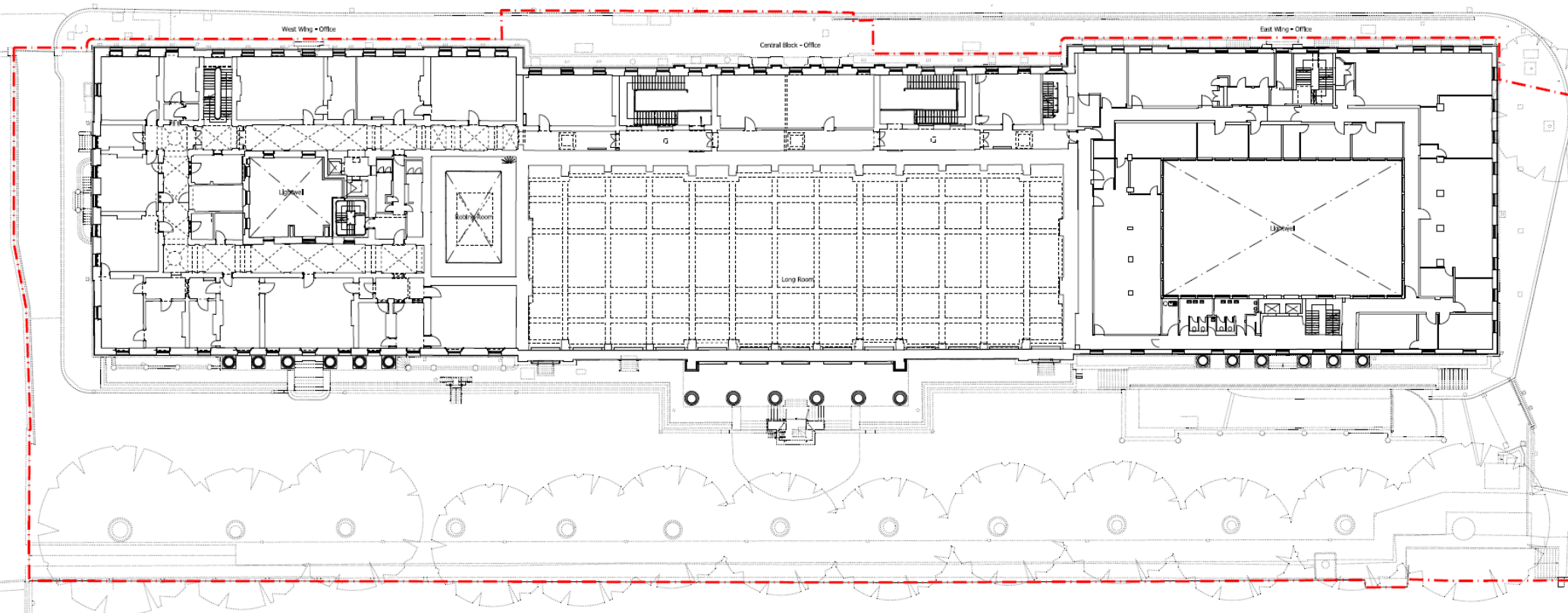
info@squireandpartners.com
www.squireandpartners.com

Project
Custom House

First floor plan - proposed



--- Application Boundary



Issued for planning	13/03/20	WS	A
Revision description	Date	Check	Rev

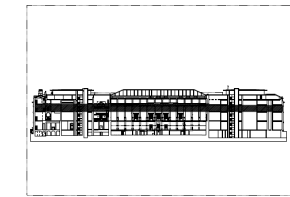
SQUIRE & PARTNERS

Squire and Partners LLP
The Department Store,
248 Ferndale Road, London SW9 8FR
T: 020 7278 5556

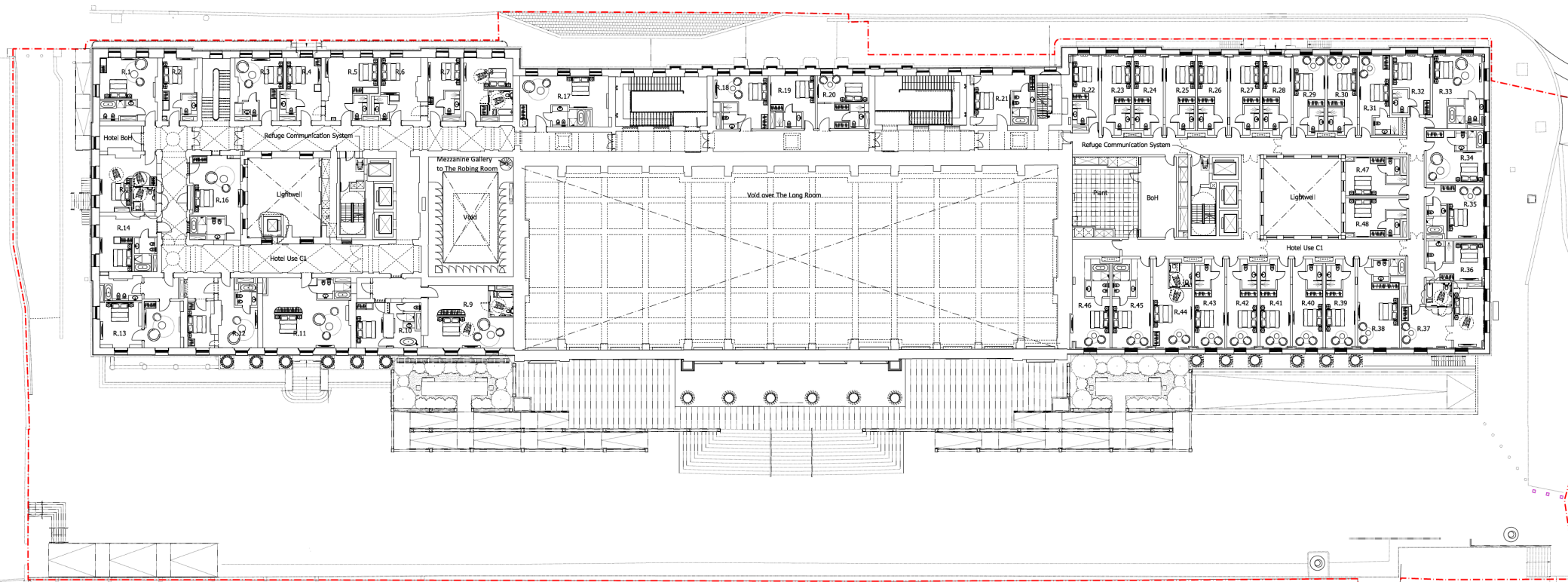
Info @ squireandpartners.com
www.squireandpartners.com

Project
Custom House

Second floor plan - existing



--- Application Boundary



Revised for Planning	06/08/21	WS	J
Revised for Planning	28/05/21	WS	I
Revised for Planning	22/04/21	WS	H
Revised for Planning	27/11/20	WS	G
Revised for Planning	05/05/20	WS	F
Issued for information	06/04/20	WS	-
Issued for planning	13/03/20	WS	E
Revised for Planning	29/11/19	WS	D
Issued for comments	08/08/19	WS	C
Issued for comments	09/05/19	VH	B
Issued for comments	18/04/19	WS	A
Revision description	Date	Check	Rev

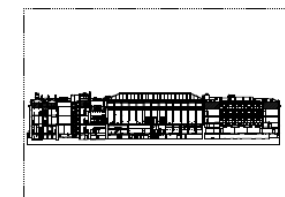
SQUIRE & PARTNERS

Squire and Partners LLP
The Department Store,
248 Ferndale Road, London SW9 8FR
T: 020 7278 5555

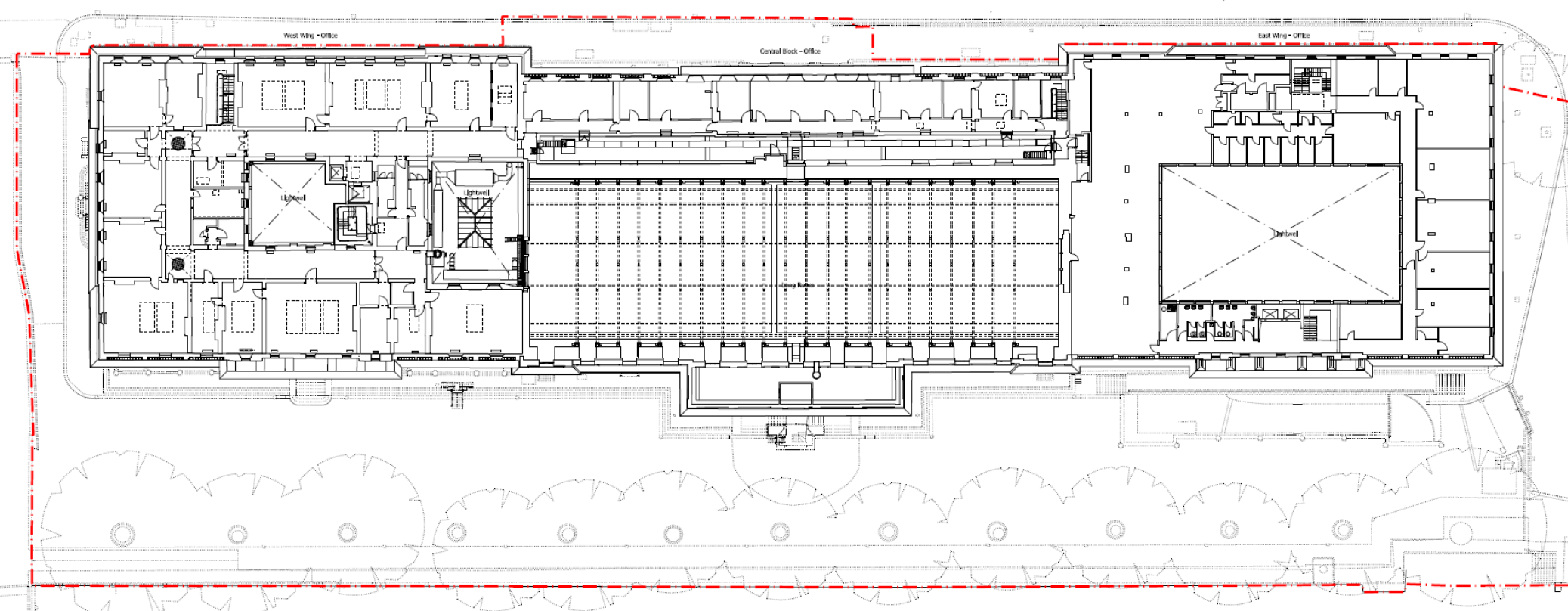
info@squireandpartners.com
www.squireandpartners.com

Project
Custom House

Second floor plan - proposed



--- Application Boundary



Issued for planning	13/03/20	WS	A
Revision description	Date	Check	Rev

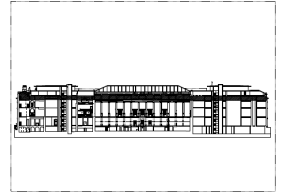
SQUIRE & PARTNERS

Squire and Partners LLP
The Department Store,
248 Ferndale Road, London SW9 8FR
T: 020 7278 6556

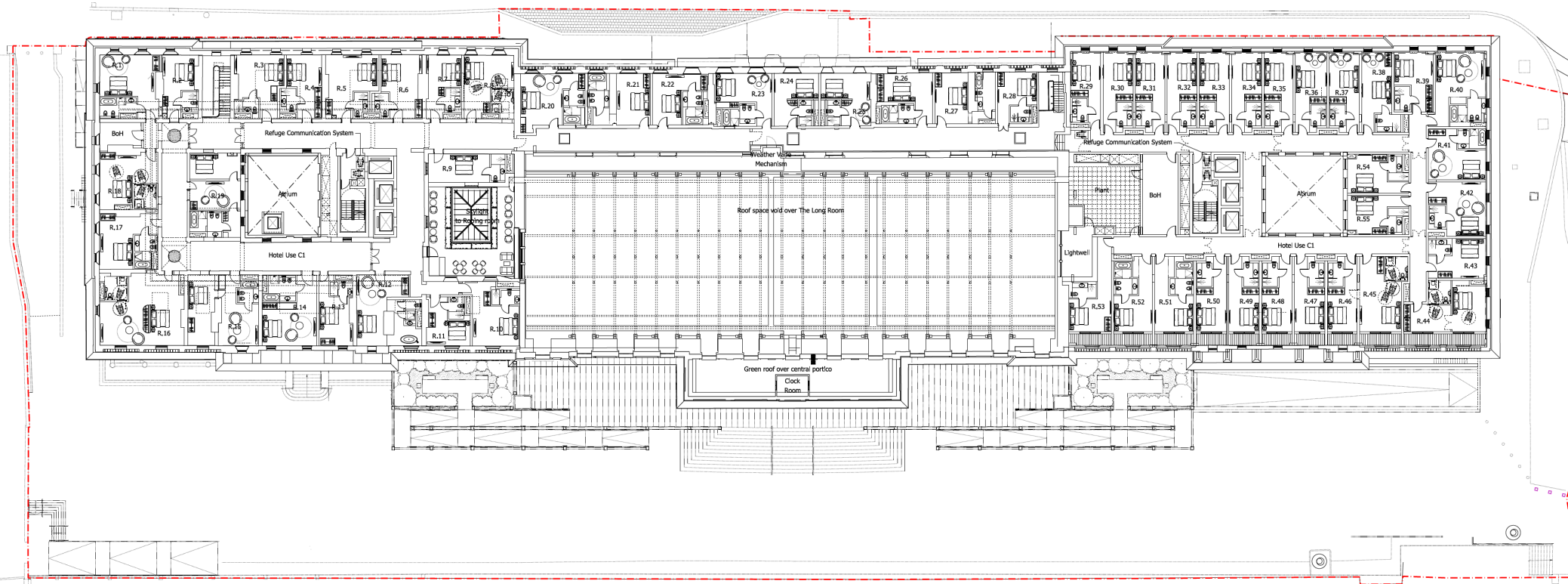
Info@squireandpartners.com
www.squireandpartners.com

Project
Custom House

Third floor plan - existing



--- Application Boundary



Revised for Planning	06/08/21	WS	J
Revised for Planning	28/05/21	WS	I
Revised for Planning	22/04/21	WS	H
Revised for Planning	27/11/20	WS	G
Revised for Planning	05/05/20	WS	F
Issued for information	06/04/20	WS	-
Issued for planning	13/03/20	WS	E
Revised for Planning	29/11/19	WS	D
Issued for comments	08/08/19	WS	C
Issued for comments	19/05/08	VH	B
Issued for comments	18/04/19	WS	A
Revision description	Date	Check	Rev

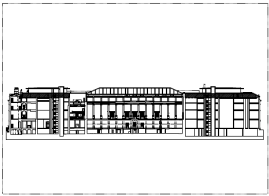
SQUIRE & PARTNERS

Squire and Partners LLP
The Department Store,
248 Ferndale Road, London SW9 8FR
T: 020 7278 5555

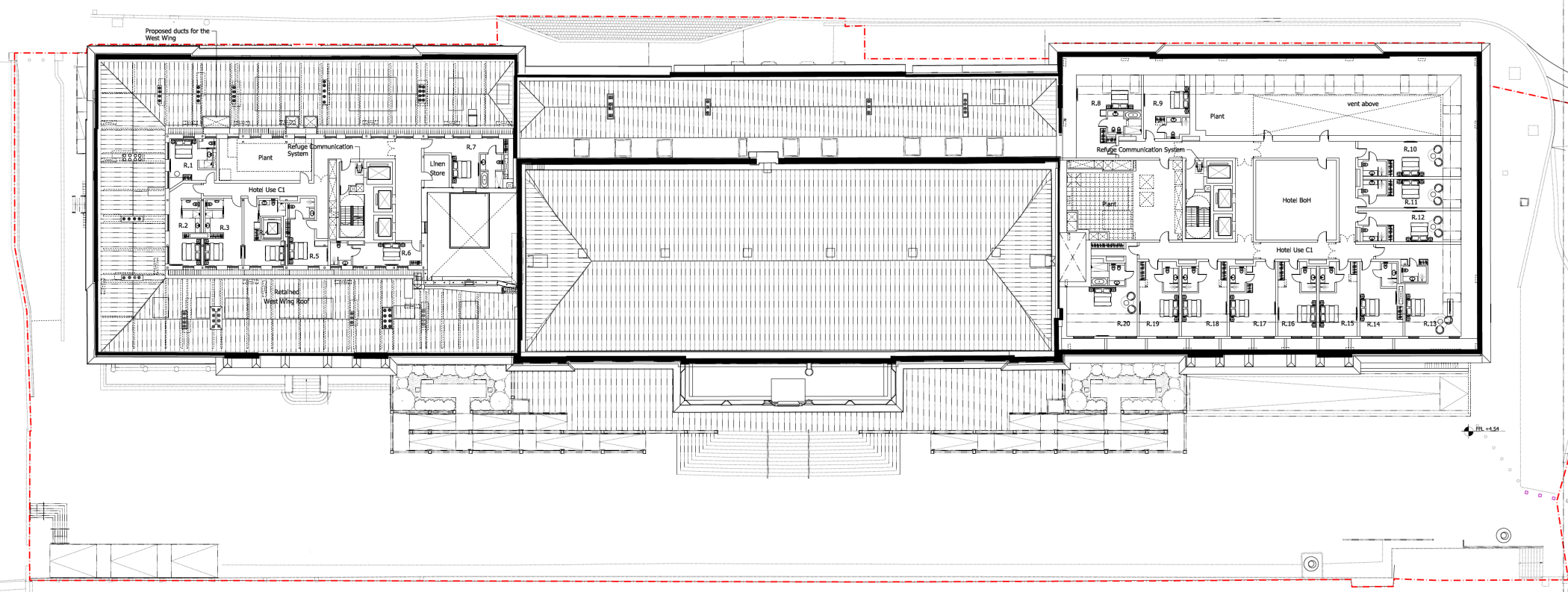
info@squireandpartners.com
www.squireandpartners.com

Project
Custom House

Third floor plan - proposed



Application Boundary

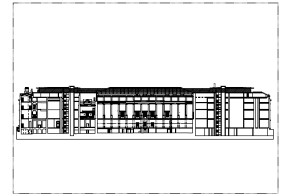


Revised for Planning	06/08/21	WS	K
Revised for Planning	28/05/21	WS	J
Revised for Planning	22/04/21	WS	I
Revised for Planning	27/11/20	WS	H
Revised for Planning	05/05/20	WS	G
Issued for information	06/04/20	WS	-
Issued for planning	13/03/20	WS	F
Revised for Planning	29/11/19	WS	E
Issued for comments	08/08/19	WS	D
Plant updated	19/05/15	VH	C
Issued for comments	19/05/08	VH	B
Issued for comments	18/04/19	WS	A
Revision description	Date	Check	Rev

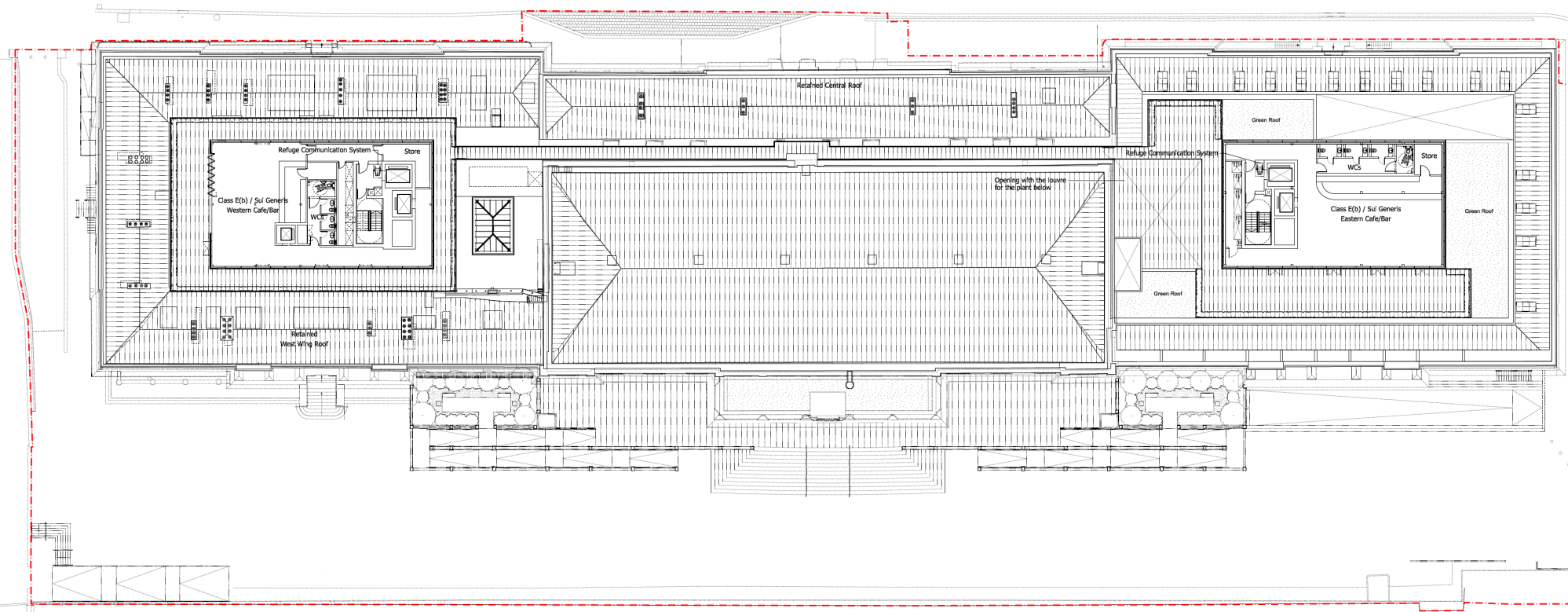
SQUIRE & PARTNERS

Squire and Partners LLP
The Department Store,
248 Ferndale Road, London SW9 8FR
T: 020 7278 5555
Info@squireandpartners.com
www.squireandpartners.com
Project
Custom House

Fourth floor plan - proposed



--- Application Boundary



Revised for Planning	06/08/21	WS	J
Revised for Planning	28/05/21	WS	I
Revised for Planning	22/04/21	WS	H
Revised for Planning	27/11/20	WS	G
Revised for Planning	05/05/20	WS	F
Issued for planning	13/03/20	WS	E
Revised for Planning	29/11/19	WS	D
Issued for comments	08/08/19	WS	C
Issued for comments	08/05/19	VH	B
Issued for comments	18/04/19	WS	A
Revision description	Date	Check	Rev

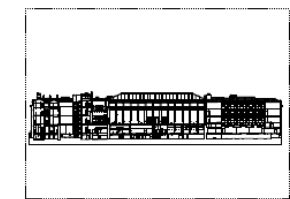
SQUIRE & PARTNERS

Squire and Partners LLP
The Department Store,
248 Ferndale Road, London SW9 8FR
T: 020 7278 9595

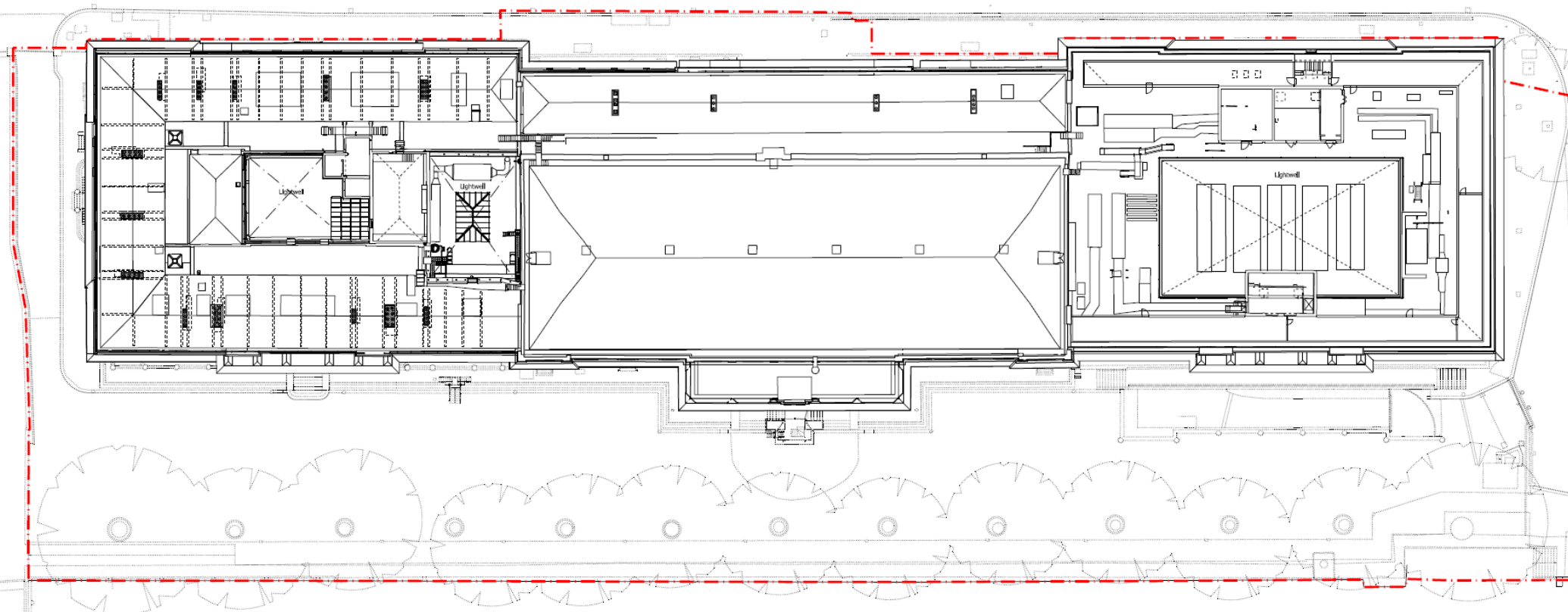
info@squireandpartners.com
www.squireandpartners.com

Project:
Custom House

Fifth floor plan - proposed



--- Application Boundary



Issued for planning 09/03/20 WS A
Revision description Date Check Rev

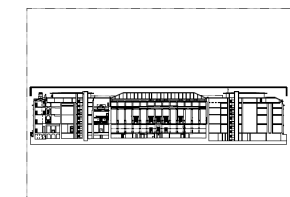
SQUIRE & PARTNERS

Squire and Partners LLP
The Department Store,
248 Ferndale Road, London SW9 8FR
T: 020 7278 5556

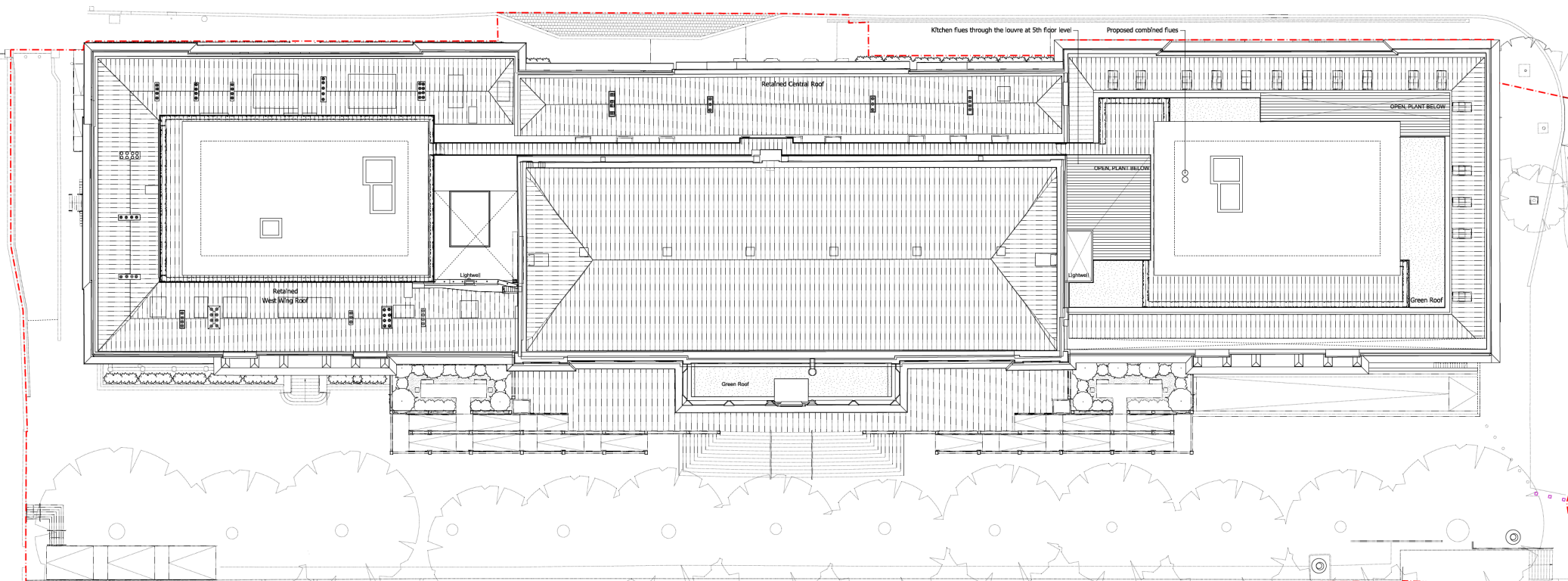
Info@squireandpartners.com
www.squireandpartners.com

Project
Custom House

Roof plan - existing



--- Application Boundary



Revised for planning	06/08/21	WS	F
Revised for planning	28/05/21	WS	E
Revised for planning	22/04/21	WS	D
Issued for planning	13/03/20	WS	C
Issued for bidders	16/12/19	WS	-
Revised for Planning	29/11/19	WS	B
Issued for information	05/11/19	WS	A

Revision description	Date	Check	Rev
----------------------	------	-------	-----

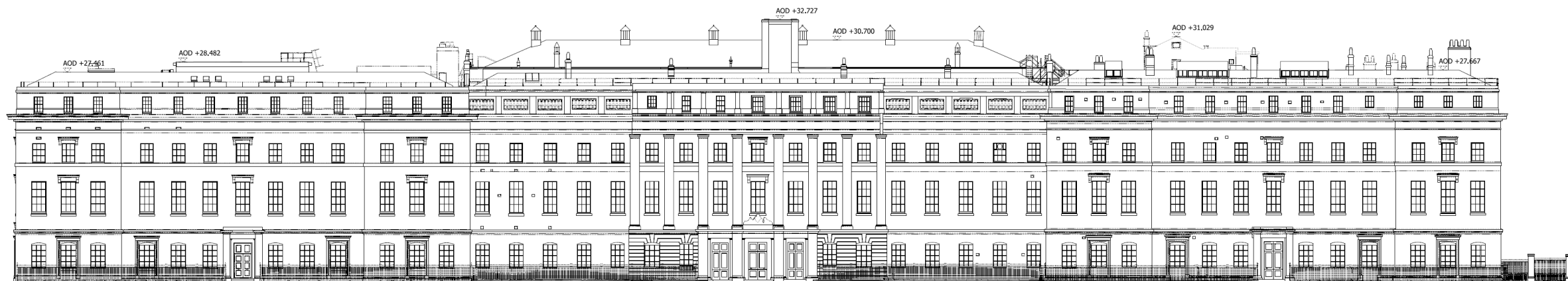
SQUIRE & PARTNERS

Squire and Partners LLP
The Department Store,
248 Ferndale Road, London SW9 8FR
T: 020 7278 5555

info@squireandpartners.com
www.squireandpartners.com

Project
Custom House

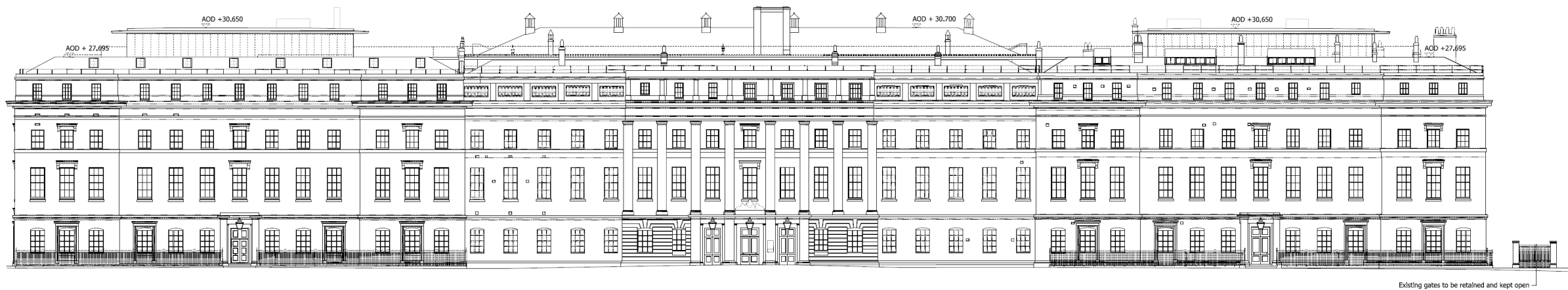
Roof plan - proposed



CUSTOM HOUSE

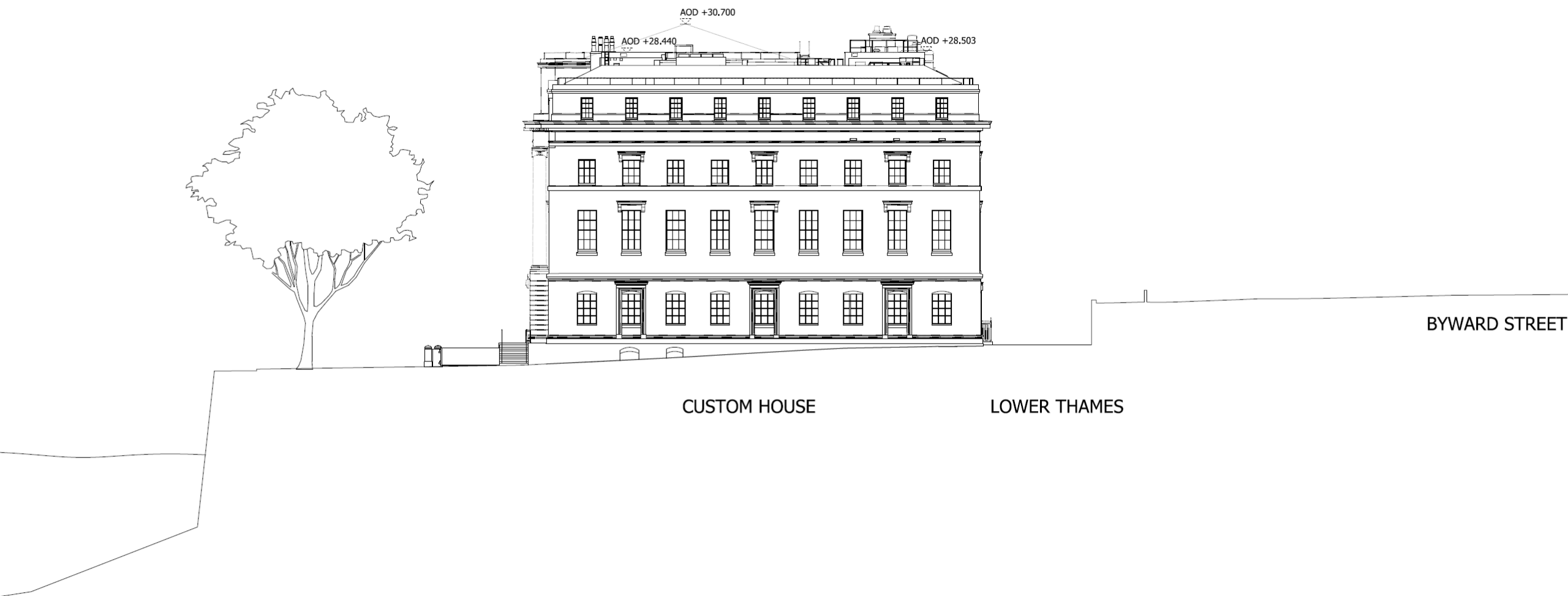


North elevation - existing

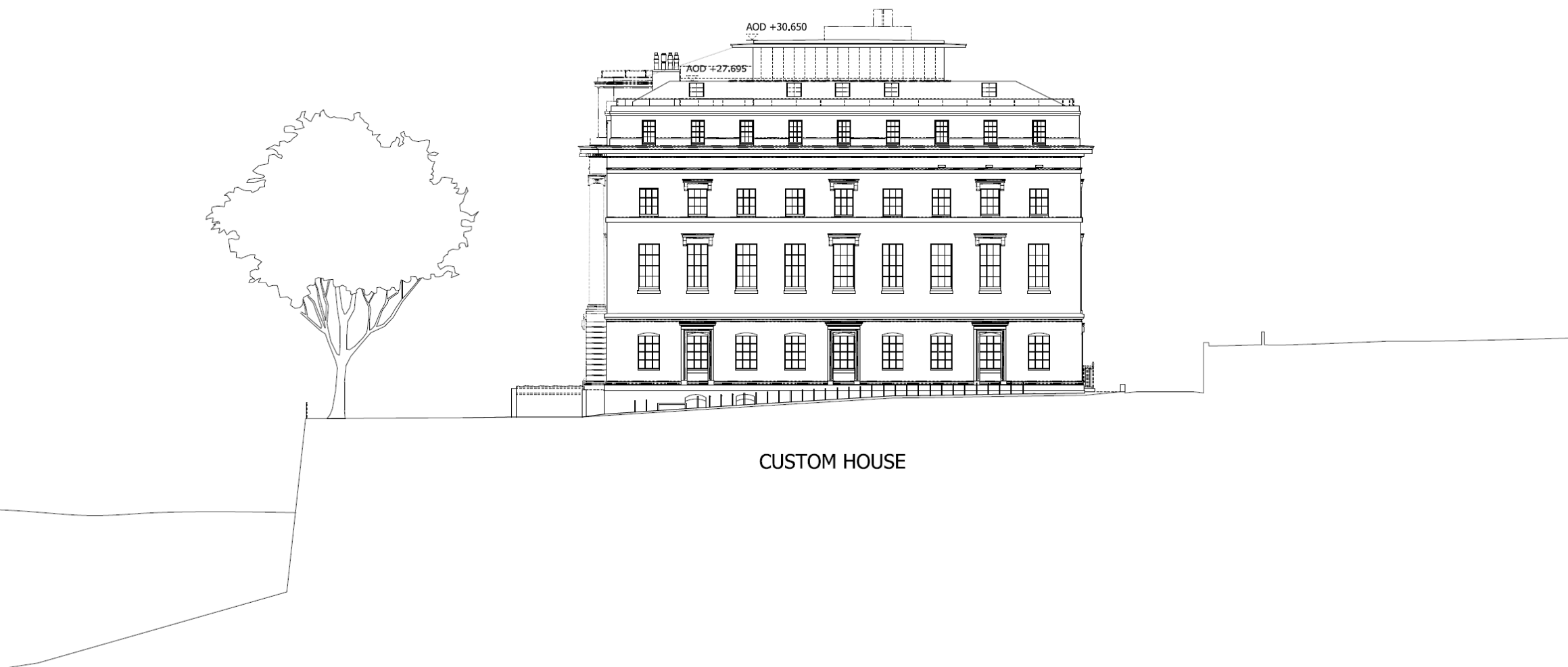


0m 5m 10m

North elevation - proposed



East elevation - existing



East elevation - proposed



CUSTOM HOUSE

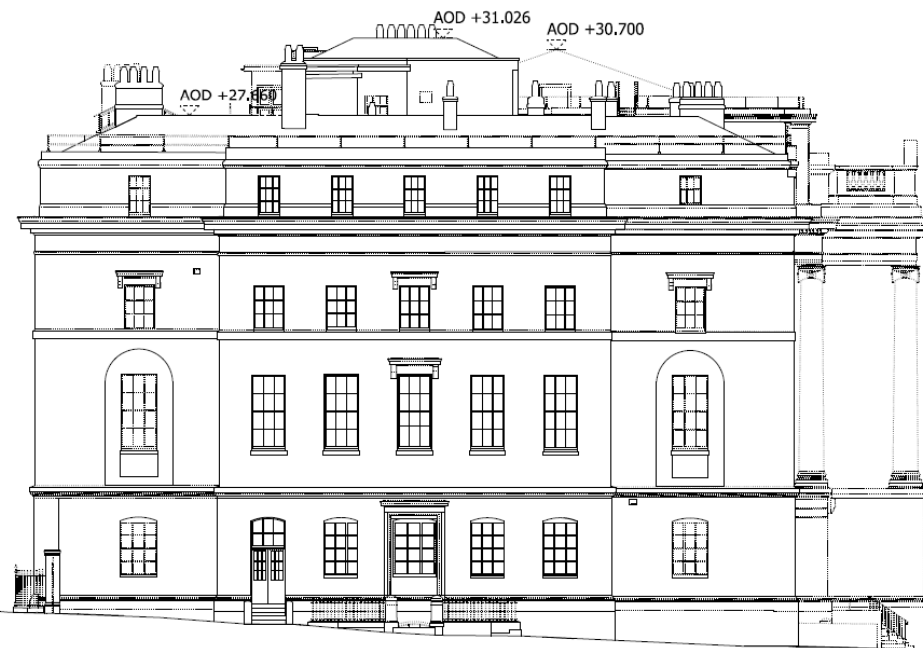
South elevation - existing



CUSTOM HOUSE

0m 5m 10m

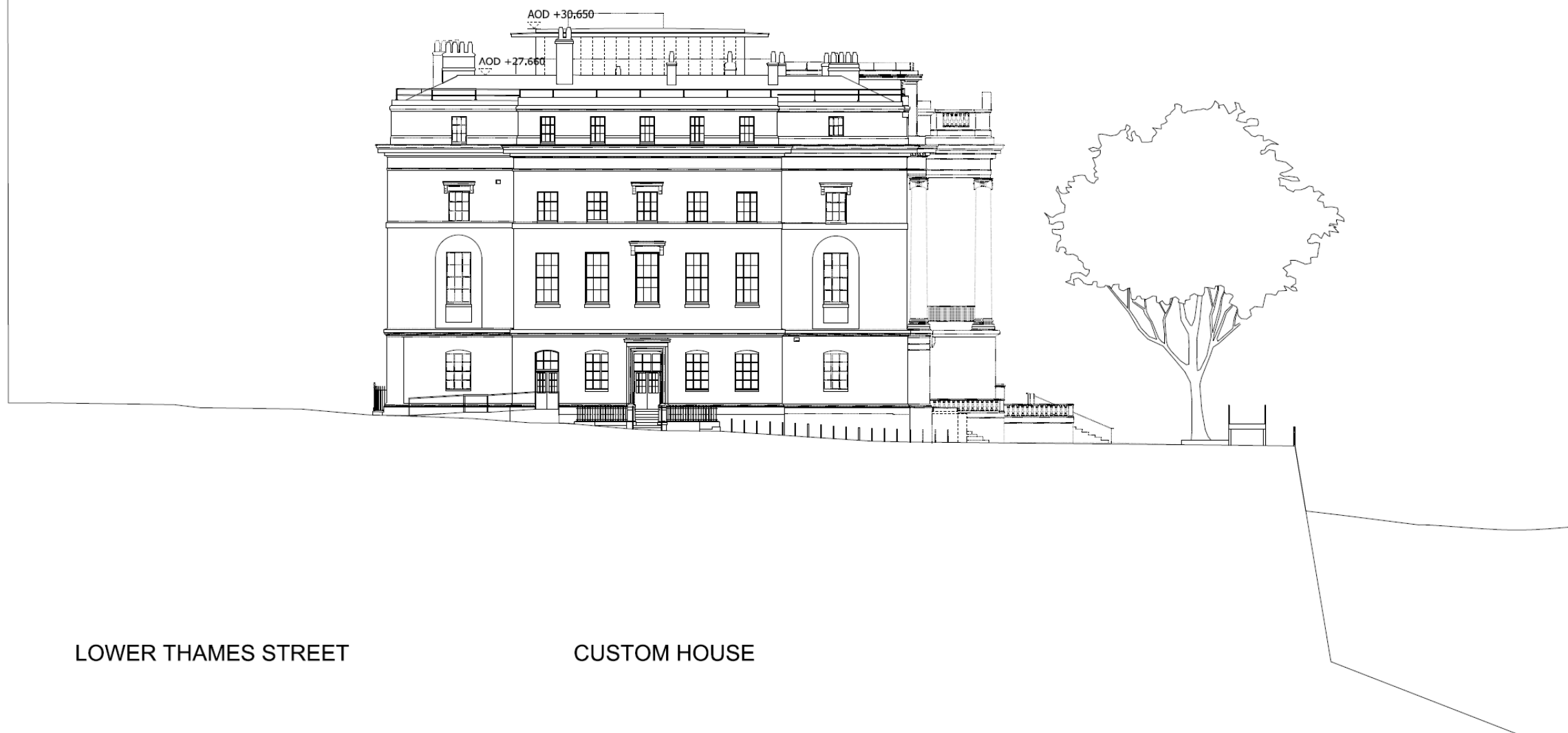
South elevation - proposed



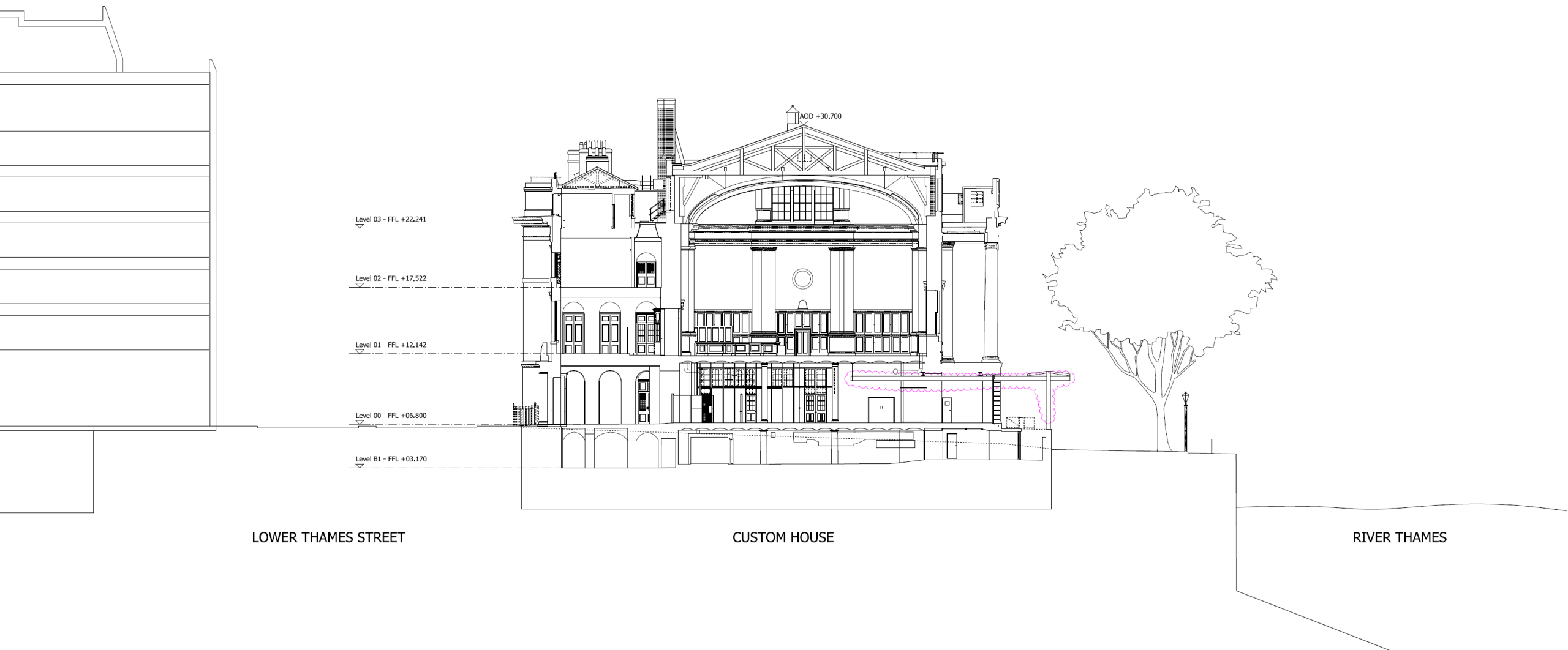
LOWER THAMES STREET

CUSTOM HOUSE

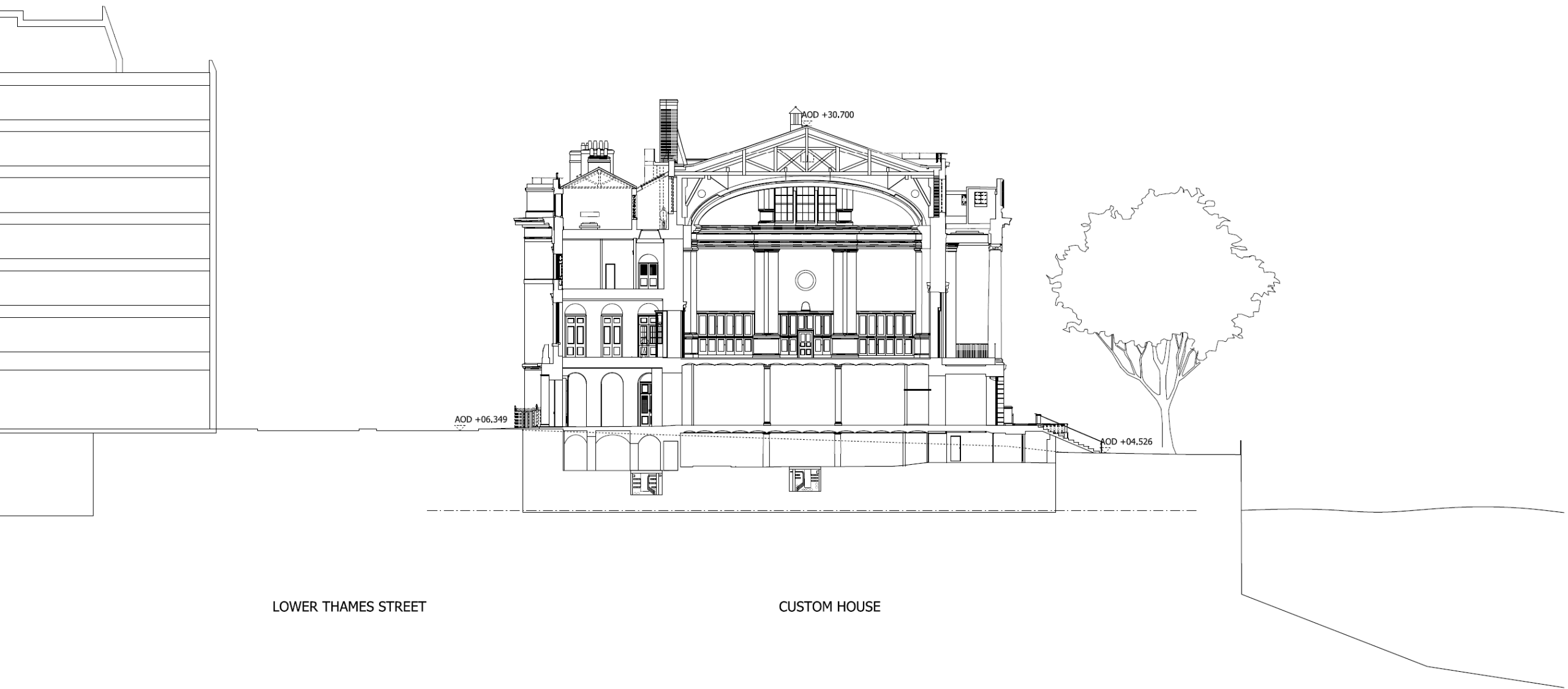
West elevation – existing



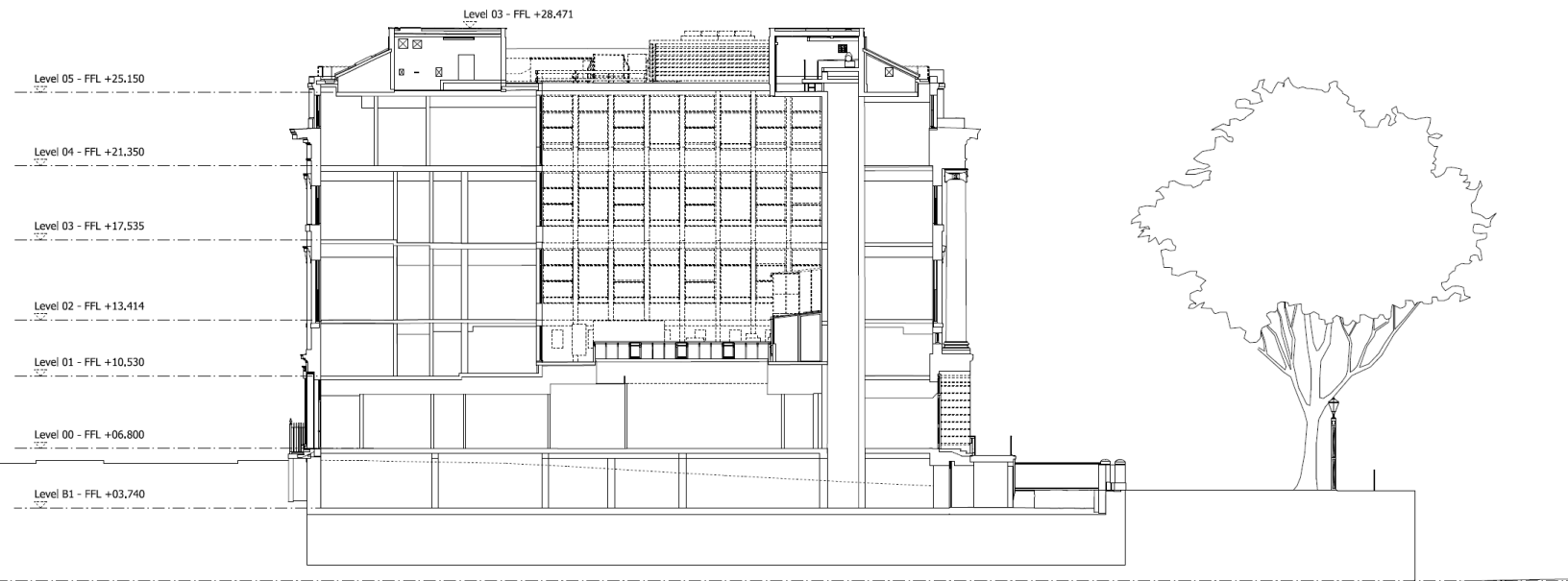
West elevation – proposed



Section AA – existing



Section AA – proposed



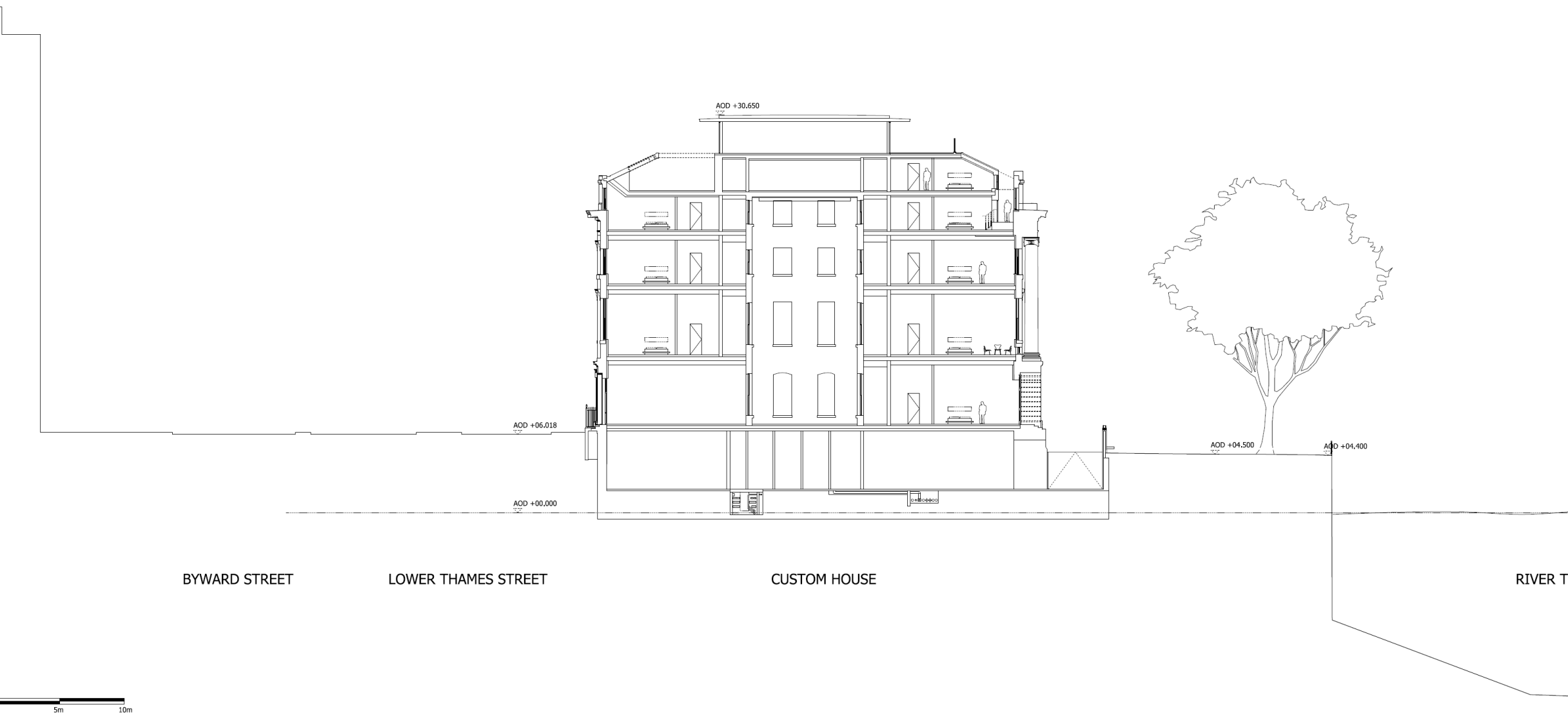
BYWARD STREET

LOWER THAMES STREET

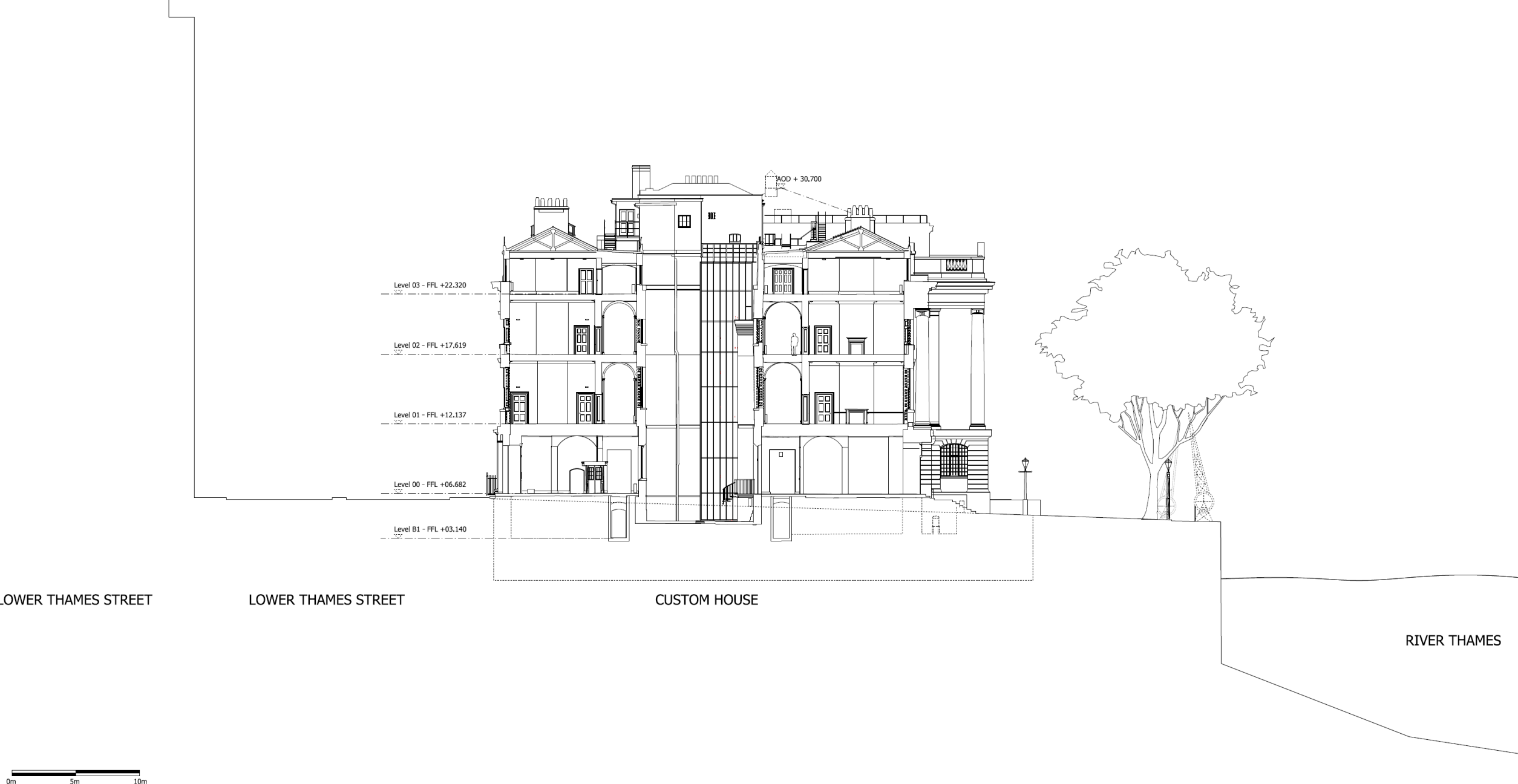
CUSTOM HOUSE

5m 10m

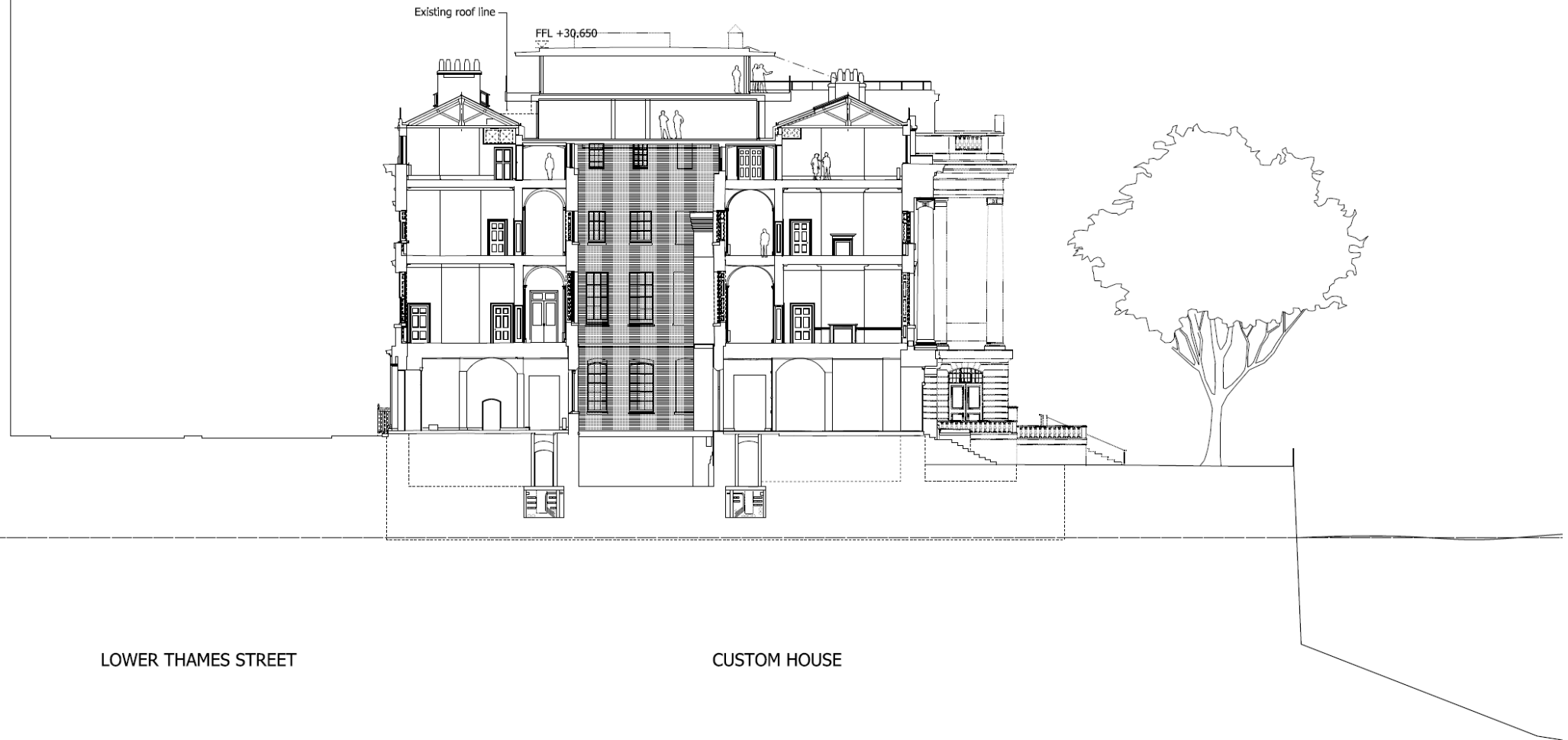
Section BB – existing



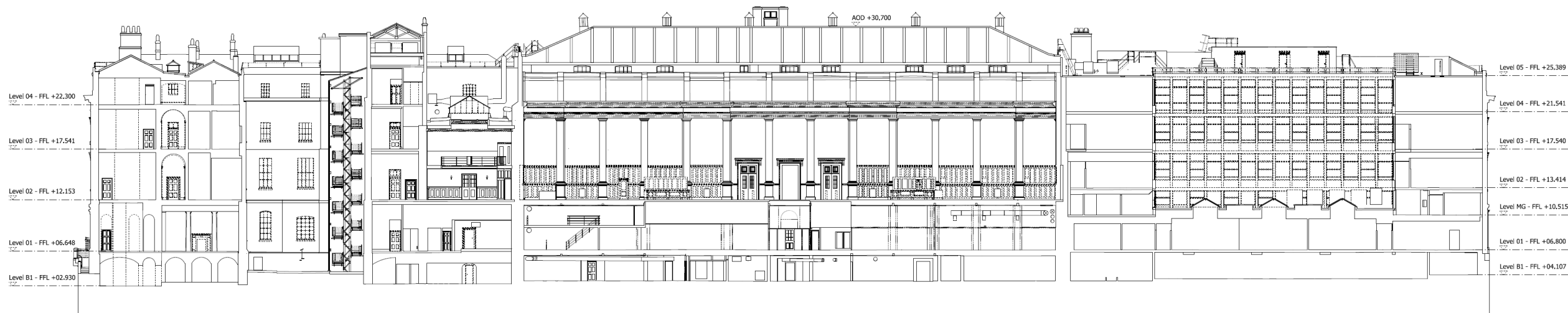
Section BB – proposed



Section CC – existing



Section CC – proposed



CUSTOM HOUSE

Section DD – existing



Section DD – proposed

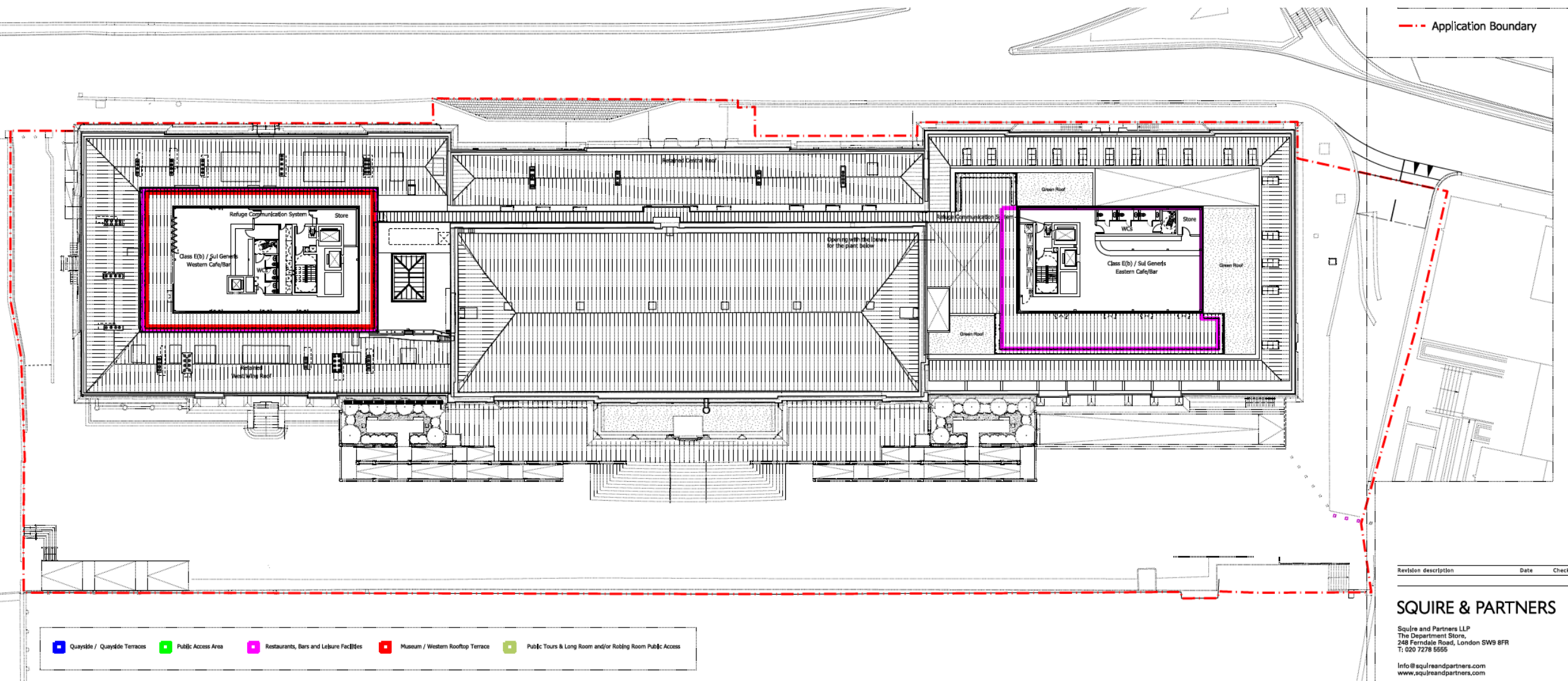


Illustrative image of the
proposed museum space

Museum Area – 456 sq.m 4,908 sq ft (GEA)



Artists Impression : Queen's Warehouse



Western rooftop terrace (outlined in red): 1000-1700 Tuesday to Sunday (free access and no compulsion to buy);

Public access plan – fifth floor



Excerpt from City's Riverside Walk Enhancement Strategy (2015) SPD

Maximum percentage of annual daylight hours

	<u>Free</u> Unrestricted Public Access	Private / Free or Purchase Ticket
	EXAMPLES: Food Fair, Christmas Market, Art Exhibition, Coffee Concession	EXAMPLES: Book Launch, School Performance, City Corporation / Mayor of London Function / London Fashion Week, Wedding Drinks, Open Air Show
Proportion of Public Area (Excl City Walkway)	Maximum % of Daylight Hours	Maximum % of Daylight Hours
51%-100%	Unlimited	5%
26%-50%	Unlimited	5%
0-25%	Unlimited	5%

Notes:

Percentages are MAXIMUM limits

Percentages are of annual daylight hours in each year (~4,500hrs)

The limits apply to opening hours of events

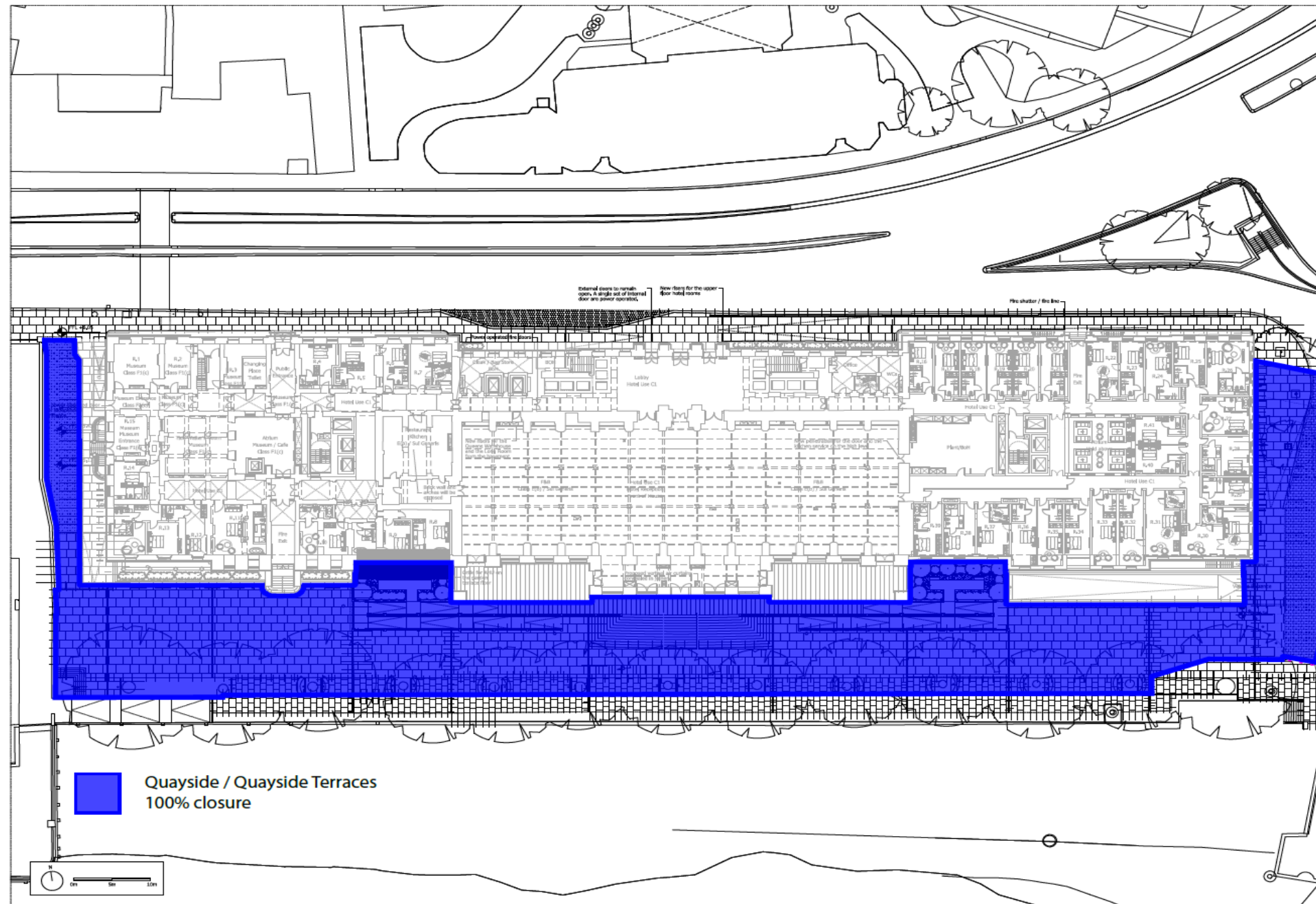
There will be a S106 Obligation to minimise the amount of space used by each event, acting reasonably

There will be a S106 Obligation to minimise disruption and duration of setup and breakdown, acting reasonably

Limits and definitions will be subject to annual review by the Curation Committee as defined in the Cultural and Community Strategy

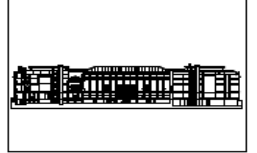
Left : Table provided by applicant for closures of the Quayside

- **Planning Officers Comments (refer to paragraphs 567- 577 of officer report) :**
- There are 675 daylight hours that the Quay could be closed for a private event in whole or in part (225 at 100%, 50% and 25%).
- The daylight method would of course exclude much peak afternoon/evening hours during the darker months, over which there would be no restriction on private closure.
- It would allow for closure over the course of the year of 100% of the Quayside for 4.3 hours per week, closure of 50% of the Quayside for a further 4.3 hours per week and closure of up to 25% for an additional 4.3 hours per week (therefore some degree of closure for up to 12.9 hours per week).
- closures could be skewed towards the warmer months of the year, such that if these hours were spread over the warmer 6 months of the year, this would mean permitted closures 100% of the Quayside for 8.6 hours per week, closure of 50% of the Quayside for a further 8.6 hours per week and closure of up to 25% for an additional 8.6 hours (so closure to some extent for up to 25.8 hours per week).



NOTES:
DO NOT SCALE FROM THIS DRAWING.
ALL DIMENSIONS TO BE CHECKED ON SITE.
ALL OMISSIONS AND DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
AREAS MAY BE SUBJECT TO CHANGE UPON DETAILED SURVEY.

ALL RIGHTS RESERVED. THIS WORK IS COPYRIGHT AND CANNOT BE REPRODUCED OR COPIED OR MODIFIED IN ANY FORM OR BY ANY MEANS, GRAPHIC ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING WITHOUT THE WRITTEN PERMISSION OF SQUIRE AND PARTNERS ARCHITECTS.



Application Boundary

Revised for planning	17/08/23	WS	A
Revision description	Date	Check	Rev

SQUIRE & PARTNERS

Squire and Partners LLP
The Department Store,
288 Finsbury Road, London EC2A 4BN
T: 020 7278 9556
info@squireandpartners.com
www.squireandpartners.com

Project
Custom House
London

Drawing
Proposed
Ground Floor Plan
Public Access Plan

Drawn Date Scale

Potential closures plan – 100%