

Committee:	Date:
Planning and Transportation	7 June 2022
Subject: 15-16 Minories 62 Aldgate High Street London EC3N 1AL Submission of details to partially discharge Condition 37-A (External Facade Materiality), 37-B (Typical Facade Details) and 37-L (Flank Wall Treatment) of planning permission 15/01067/FULL dated 19.08.2016	Public
Ward: Portsoken	For Decision
Registered No: 22/00127/MDC	Registered on: 18 February 2022
Conservation Area:	Listed Building: No

Summary

Planning permission was granted on 30th June 2014 (13/01055/FULMAJ) for 'Demolition and redevelopment to provide a Class B1 office building with Class A1 retail (18,537sq.m). Extension and recladding of 16 Minories and change of use from offices (Class B1) to a hotel (Class C1), Class A3 restaurant and Class D1 (health)/ Class D2 (community) use (17,367sq.m.). Erection of new residential building (Class C3) providing 87 units (7829sq.m.). Re-landscaping of open space and public realm improvements.'

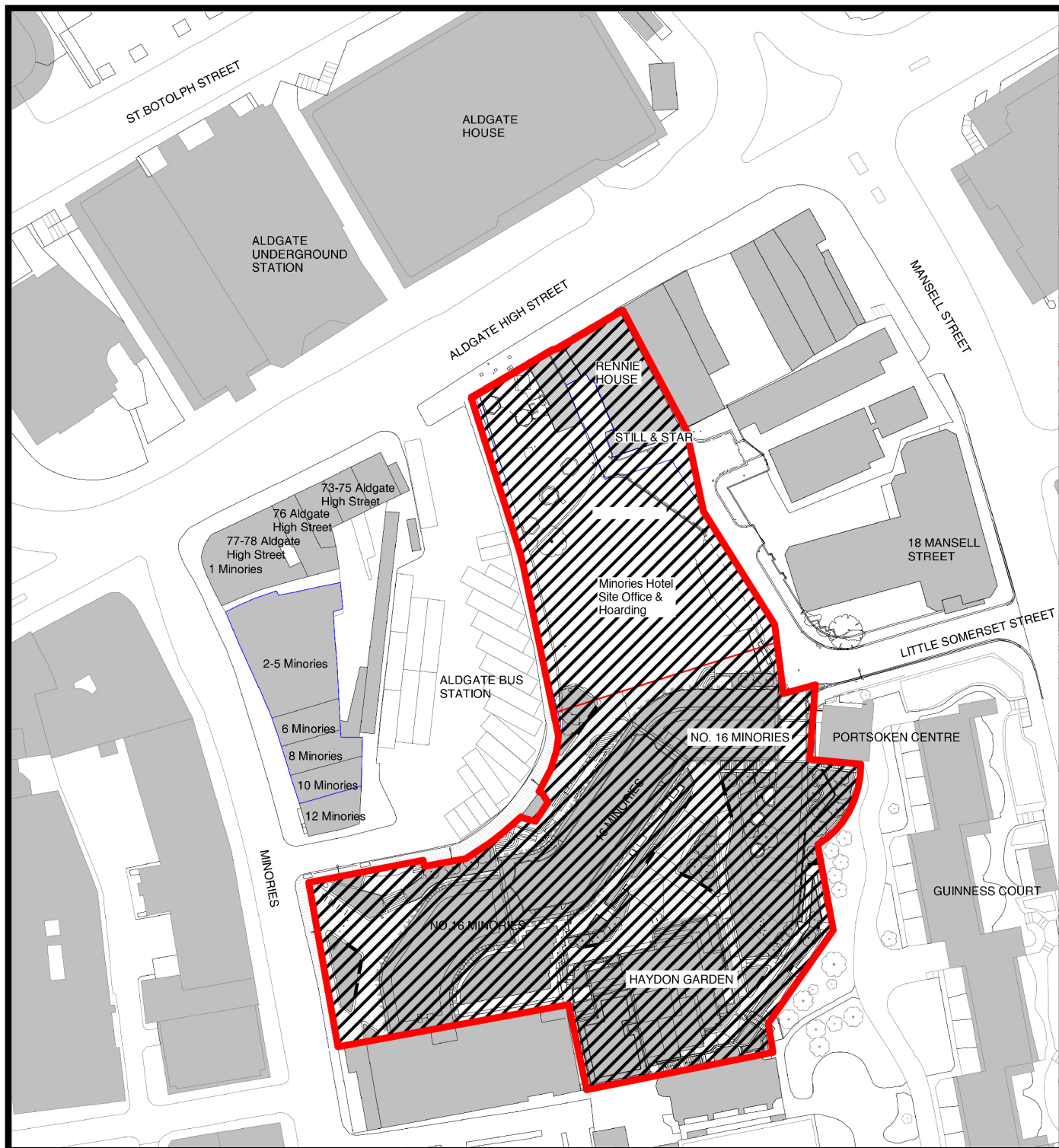
The committee requested that condition 37 (a) and (b) pertaining to samples of materials on external faces of the building and details of the proposed new facades for each of the buildings be reviewed and determined by the planning committee. This application is to discharge these elements in relation to the residential building only. This application also relates to condition 37 (l) pertaining to the treatment to the flank wall at 57-60 Aldgate High Street.

The facade details and proposed materials (aluminium and glass) demonstrate that the residential building would be of a high-quality design and external finish. It is therefore recommended that Condition 37 (a) and (b) are discharged in part. The proposed red render to the flank wall at 57-60 Aldgate High Street is considered to be appropriate in its context and condition 37 (l) can be discharged in full.

Recommendation

That the Committee resolves to discharge condition 37 (a) and (b) in part and condition 37 (l) in full, of planning permission reference 15/01067/FULL.

Site Location Plan



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ADDRESS: 15-16 Minories, 62 Aldgate High Street
and 1 Little Somerset Street, London EC3

CASE No.
22/00127/MDC



SITE LOCATION



LISTED BUILDINGS



CONSERVATION AREA BOUNDARY



CITY OF LONDON BOUNDARY



DEPARTMENT OF THE BUILT ENVIRONMENT





Main Report

Site Description

1. The application site relates to the residential element of a wider masterplan site comprising three buildings and associated open space, occupying land bounded by Aldgate High Street to the north, the Aldgate Bus Station and Minories to the west, Little Somerset Street and the Guinness Court Mansell Street Estate to the east and south, and buildings at 22-24 Minories and 9 St Clare Street, also to the south.
2. The residential element, to which this application relates is situated between the completed Hilton by Canopy Hotel running to the west along Minories and the Mansell Street Estate to the east. The residential building is currently constructed to shell and core.

Planning History

3. Planning Permission was originally granted on 30th June 2014 (13/01055/FULMAJ) for 'Demolition and redevelopment to provide a Class B1 office building with Class A1 retail (18,537sq.m). Extension and recladding of 16 Minories and change of use from offices (Class B1) to a hotel (Class C1), Class A3 restaurant and Class D1 (health)/ Class D2 (community) use (17,367sq.m.). Erection of new residential building (Class C3) providing 87 units (7829sq.m.). Re-landscaping of open space and public realm improvements.'
4. A subsequent S.73 minor material amendment application was approved on 19th August 2016, 15/01067/FULL (herein referred to as the 2016 consent) to incorporate changes solely to the residential building which now forms the implemented planning permission for the wider site. The amendments resulted in some changes to the external envelope, internal layout and rationalisation of the façade design.
5. In 2020, a non-material amendment application (20/00831/NMA) was approved to allow for alterations to the residential building including fenestration changes, the addition of a ground floor terrace, and use of a flat roof at level 15 as a residential terrace.
6. Works have been carried out to implement the 2016 scheme. The hotel has recently opened, and the residential element has been completed to shell and core. Work has not commenced on the office development.

Condition Discharge Application

7. This application seeks to partially discharge condition 37 (a) and (b) pertaining to the residential element of the scheme and fully discharge 37 (l). These elements state:

‘Before any works thereby affected are begun the following details shall be submitted to and approved in writing by the Local Planning Authority and all development pursuant to this permission shall be carried out in accordance with the approved details:

- (a) particulars and samples of the materials to be used on all external faces of the buildings including external ground and upper level surfaces;
- (b) details of the proposed new facades for each of the buildings including typical details of the fenestration;’
- (l) details of the treatment to the flank wall at 57-60 Aldgate High Street exposed by the development.

Reason: To ensure that the Local Planning Authority may be satisfied with the detail of the proposed development and to ensure a satisfactory external appearance in accordance with the following policies of the Local Plan: DM3.2; DM10.1; DM10.5; DM12.2

8. These details have been brought before the committee at their request from the resolution to grant permission at the Planning & Transportation Committee on 10th June 2014. The minutes of the meeting state:

“The Committee requested that the details of the elevations under conditions 38 (a) and (b) be put before the Committee for consideration as opposed to being dealt with under Delegated Authority.”

9. For clarity, following the subsequent amendments to the scheme, condition 38 of the original permission has been re-numbered to condition 37.

Consented Design

10. When the masterplan was originally considered by the Planning Committee in June 2014, it was noted that the design of the 16-storey residential element comprised a staggered and layered series of interlocking blocks intended to generate a play of light and shadow. The recessed terraces and stepped façade would result in a high degree of depth and modelling, which would assist in reducing the sense of bulk. The design approach of predominantly glazed facades with integrated and movable steel chainmail curtains would give an ever-changing appearance to the building. The glazing and the

reflective qualities of the metallic mesh curtains would give the building a light appearance appropriate in its location adjoining the proposed landscaped area to its east.

11. It was considered that the design of the residential building would create a striking contrast with the adjoining 24-26 Minories hotel. The marked horizontal emphasis of the block and the depth of modelling would contrast appropriately with the sheer vertical emphasis of the tower element of the hotel scheme.
12. At the point of resolution by the committee in 2014, an informative was included stating the following:

“You are advised that the detailed design along with the involvement of the project architect of the application scheme is considered to be an important element of the success of the building designs. As such, any proposed variation either in detailed design, the use of materials or a change in the project architect to oversee implementation is likely to dilute the convincing design quality of the buildings and is likely to be resisted by the City of London as local planning authority.”
13. The subsequent 2016 consent resulted in some amendments to the design of the residential building, and it was concluded that the changes in the shape and proportions of the residential building would have a minimal visual impact and were considered acceptable in design terms and would not affect the original dynamic architectural design integrity. The scheme continues to be progressed by the original architect ‘ACME’ as required by the informative.

Details Under Consideration

(a) Particulars and samples of the materials to be used on all external faces of the buildings including external ground and upper level surfaces;

14. The building was originally conceived as being strongly metallic in appearance to contrast with the hotel and office buildings as part of the masterplan. Accordingly, the proposed façade system comprises a palette of light and dark grey metal elements framing glass window openings and balustrades.
15. The projecting sills and soffits would be executed in darker grey PPC aluminium panels. PPC stands for ‘polyester powder coating’, a powdered aluminium agent applied to cladding panels and ‘cured’ in a high temperature oven to form a durable and high-quality finish.
16. The main elevational feature, the perforated aluminium panel, was originally proposed to be executed in anodised aluminium, to

differentiate this element by giving it a more metallic sheen than the other elements of the building. As a result of further material investigation, the perforated panel is now proposed in a quasi-anodised PPC finish.

17. Anodising is produced through an electrolytic passivisation process, increasing the thickness of the natural oxide layer on the surface of the metal to enhance its metallic appearance. This layer is translucent and can result in slight variations in metallic finish across the elements to which it is applied. Quasi-anodising involves bonding a high-performance metallic pigment to a PPC base and 'cured' in the same way as PPC coatings. This results in a more uniform and consistent metallic finish which is considered more appropriate to the role these perforated panel features play in the façade.
18. There is a further difference in the weathering of the two systems. Being a hard surface, anodised aluminium does not weather. Quasi anodised aluminium would weather to the same rate as other PPC elements. As such, the specification of this material for the perforated panels would mean that the whole façade system would be of underlying PPC composition and accordingly would weather to a consistent rate. The panelling would require low maintenance and is a highly durable material.
19. It is therefore considered that the proposed quasi-anodised finish to the perforated panels would secure the same metallic effect as originally consented and would result, in the long term, in the facades weathering to a consistent degree.
20. The aluminium will have an average recycled content of 51%.
21. The proposed glass for the balconies and windows would be a low-iron specification. Standard 'clear' glass contains iron oxide which can result in slight colour tints. Low-iron glass minimises these impurities and would be more truly 'clear'.
22. The glass is being sourced from Guardian Glass Industries which all benefit from having ISO 14001. This accreditation requires manufacturers to meet set environmental and sustainability performance standards.
23. In regard to fire safety, all of the external façade will comply with Regulation 7(2) of the Building Regulations which will achieve either Class A1 or A2-s1 and the proposed materials would be assessed in more detail by relevant officers during construction.
24. Officers have reviewed samples of all materials on site and have confirmed that they would be of a satisfactory external appearance.

Material Specification:

	Material	Colour	Product Code
Metal Curtain (Fixed Perforated and corrugated screen)	Aluminium	Light Grey	Argento 620 Grylac 68/90346 (ME/MA)
Rainscreen (Behind Metal Curtain)	Aluminium	Dark Grey 2	RAL 7043
Rainscreen (Slab Edge Cover)	Aluminium	Light Grey	Argento 620 Drylac 68/90346 (ME/MA)
Balustrade	Glass/Aluminium	N/A	Ultraclear ESG-HST 1212 4_SentryGlas – LOW IRON
Juliet Balcony	Glass/Aluminium	N/A	UltraClear ESG-HST 1212 4_SentryGLas – LOW IRON
Projecting Sill	Aluminium	Grey Dark 1	xal-Classic 37 4201E75305L3F
Flank Wall (To Motel One)	Render	Red	33200 (K 3,0 Roughness)
Window/Sliding Door Profiles	Glass/Aluminium	Light Grey	Argento 620 Drylac 68/90346 (ME/MA)

(b) details of the proposed new facades for each of the buildings including typical details of the fenestration'

25. The principal façade detail is the perforated panel. Originally, this detail was consented as a metallic chainmail curtain which could be moved across the elevation. Under the 2016 consent, this was altered to a corrugated and perforated metallic panel fixed over a solid façade element introduced to improve the building's thermal performance. The details of these panels have been submitted as part of this condition. They would consist of 16 panel types, each with a bespoke pattern of perforation using 'teardrop' holes. The extensive and subtle variety in the patterns would add nuance and enrichment to the elevations. As consented the corrugation was bespoke to each panel, but following extensive testing this bespoke corrugation was indistinguishable from regular corrugation, the perforated pattern being the most noticeable quality, so the perforated panels would follow a regular corrugation design.

26. Other façade details include simple metal and glazed elements. Under this condition the solid-void ratio of the building would be adjusted to fractionally increase the glazed areas and also to better align the perforated 'curtain' panels with the window openings. Typical façade details have been supplied and these are considered acceptable.

(l) details of the treatment to the flank wall at 57-60 Aldgate High Street exposed by the development;

27. The flank wall would consist of a vibrant red insulated render. It would have high thermal efficiency and fireproofing performance and would add a playful dash of colour on a part of the building visible only from limited viewpoints to the north and south-west of the development. This is considered acceptable and 37 (l) should be discharged in full.

Conclusions

28. Officers are satisfied that the proposed materials and detailed facades (in regard to the residential development) and details for the flank wall, are appropriate and would ensure the delivery of a high-quality development, which accords with the design principles of the original application. The proposal is being progressed by the original architects in accordance with the informative placed on the original planning permission and it is therefore recommended that condition 37 (a) and (b) be discharged in part, and 37 (l) is discharged in full.

Relevant Local Plan Policies

Refer to original consent (ref: 15/01067/FULL)

SCHEDULE

APPLICATION: 22/00127/MDC

15-16 Minories 62 Aldgate High Street London

Submission of details to partially discharge Condition 37-A (External Facade Materiality), 37-B (Typical Facade Details) and 37-L (Flank Wall Treatment) of planning permission 15/01067/FULL dated 19.08.2016

INFORMATIVES

- 1 The Plans and Particulars accompanying this application are: HDNGR-ACM-RP-A-10-001-P05-Planning Condition 37.
- 2 This approval relates only to the details listed above and must not be construed as approval of any other details shown on the approved drawings.