

<b>Committee(s)</b>	<b>Dated:</b>
Planning and Transportation	7 <sup>th</sup> June 2022
<b>Subject:</b> Delegated decisions of the Chief Planning Officer and Development Director	<b>Public</b>
<b>Report of:</b> Chief Planning Officer and Development Director	<b>For Information</b>

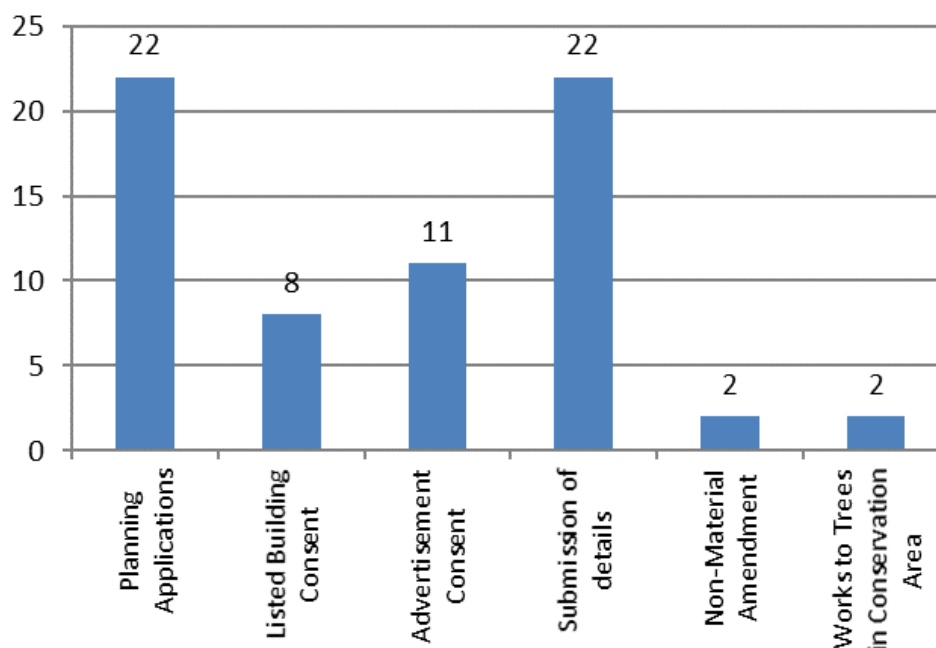
### Summary

Pursuant to the instructions of your Committee, I attach for your information a list detailing development and advertisement applications determined by the Chief Planning Officer and Development Director or those so authorised under their delegated powers since my report to the last meeting.

In the time since the last report to Planning & Transportation Committee Sixty Seven (67) matters have been dealt with under delegated powers. Eight (8) relate to works to Listed Buildings, Eleven (11) applications for Advertisement Consent including Ten (10) refused consents. Twenty Two (22) relate to conditions of previously approved schemes, Two (2) relate to Non-Material Amendment and Two (2) relate to Works to Trees.

Twenty Two (22) Full applications for development have been approved, including Eleven (11) refused consents, with 9738 sq.m of created floorspace.

### Breakdown of applications dealt with under delegated powers



Any questions of detail arising from these reports can be sent to [plans@cityoflondon.gov.uk](mailto:plans@cityoflondon.gov.uk).

### Details of Decisions

Registered Plan Number & Ward	Address	Proposal	Decision & Date of Decision	Applicant/ Agent Name
21/00838/LBC Aldgate	Holland House 1 - 4 Bury Street London EC3A 5AW	Removal and reinstatement of external faience together with the removal and replacement of existing concrete beam together with associated works.	Approved 10.05.2022	Fortress Investment Group
21/01094/LDC Aldgate	19 - 21 Billiter Street London EC3M 2RY	Submission of details (new work and work in making good to the interior of the building) pursuant to the partial discharge of condition 4 (g) of Listed Building Consent dated 24th August 2021 (21/00506/LBC).	Approved 10.05.2022	Vanquish Properties UK Ltd
21/01033/FULL Bassishaw	88 Wood Street London EC2V 7DA	Application under Section 73 of the Town and Country Planning Act 1990 (as amended) to vary condition 13 (approved plans) of planning permission dated 18.08.2020 (Application number 20/00267/FULL) to allow for the omission of the approved entrance to the B1/D2 unit on Wood Street and installation of back-painted glass instead.	Approved 12.05.2022	Star Winner Enterprises Limited
22/00050/FULL Billingsgate	Plantation Place 30 Fenchurch Street London EC3M 3BD	Installation of structures at level 14 terrace level including seating, decking, and planters associated with the existing office use.	Approved 19.05.2022	30 Fenchurch Trustee 1 & 2 limited
21/00638/LBC Bishopsgate	5 Devonshire Square London EC2M 4YE	Demolition of the existing refuse store located to the rear of 5 Devonshire Square and its replacement with a new structure including green roof and replacement terrace to enclose the refuse yard on Harrow Place.	Approved 19.05.2022	CG Cutlers Gardens LP

22/00095/ADVT Bishopsgate	Pavement O/S 206 - 210 Bishopsgate London EC2M 4NR	Installation and display of two non-illuminated banners on a new lamp column on the pavement outside 206-210 Bishopsgate, measuring 2.5m high, 0.5m wide, at a height above ground of 5.2m.	Approved 05.05.2022	City of London Corporation
21/00930/FULMAJ Bishopsgate	1 Exchange Square London EC2A 2JN	Part demolition of the site for the refurbishment and extension to the existing facade facing onto Exchange square and upper levels; External alterations and improvements to facades facing onto Bishopsgate and at ground floor including new main entrance and new retail frontages; public realm improvements fronting Bishopsgate including new steps, seating and accessibility improvements; Increased height and widening of Exchange Arcade; creation of a new outdoor retail pavilion terrace to level 1; creation of west extension terraces; creation of wing extension terraces; provision of external terraces for occupants at levels 4, 8, 9, 10, 11, 12 and roof terrace on level 13; provision of cycle storage and other works incidental to the development (9,920 sq.m).	Approved 25.05.2022	PNBJ I Limited
21/01079/FULL Bishopsgate	Pavement O/S 18 Liverpool Street London EC2M 7PD	Proposed installation of 1no. new BT Street Hub, incorporating 75" LCD advert screens plus the removal of associated BT kiosk(s).	Refused 24.05.2022	BT Telecommuni cations Plc
21/01080/ADVT Bishopsgate	Pavement O/S 18 Liverpool Street London EC2M 7PD	Installation and display 2no. digital 75" LCD display screens, one on each side of the Street Hub unit.	Refused 24.05.2022	BT Telecommuni cations Plc

21/01081/FULL Bishopsgate	Pavement O/s 125 - 129 Middlesex Street London E1 7JF	Proposed installation of 1no. new BT Street Hub, incorporating 75" LCD advert screens plus the removal of associated BT kiosk(s).	Refused 24.05.2022	BT Telecommuni cations Plc
21/01082/ADVT Bishopsgate	Pavement O/s 125 - 129 Middlesex Street London E1 7JF	Installation of 2no. digital 75" LCD display screens, one on each side of the Street Hub unit.	Refused 24.05.2022	BT Telecommuni cations Plc
22/00148/MDC Bread Street	Warwick Court 5 Paternoster Square London EC4M 7DX	Submission of details pursuant to condition 7(a) of planning permission 19/01362/FULL (dated 19.05.2020) relating to landscaping/planting to terraces at levels 4, 5, and 8 (roof).	Approved 10.05.2022	DP9 Limited
22/00150/FULL Bread Street	Paternoster Column Paternoster Square London EC4M 7DX	Temporary installation of an "Animal Table" sculpture for a temporary period between 15th May 2022 and 20th November 2022.	Approved 10.05.2022	Paternoster Square
22/00231/MDC Bread Street	Warwick Court 5 Paternoster Square London EC4M 7DX	Submission of details pursuant to condition 2 of planning permission 19/01362/FULL (dated 19.05.2020), relating to Servicing Management Plan.	Approved 24.05.2022	DP9 Limited
21/01052/FULL Bread Street	Pavement O/S Old Change House 128 Queen Victoria Street London EC4V 4BJ	Proposed installation of 1no. new BT Street Hub, incorporating 75" LCD advert screens plus the removal of associated BT kiosk(s).	Refused 24.05.2022	BT Telecommuni cations Plc

21/01053/ADVT Bread Street	Pavement O/S Old Change House 128 Queen Victoria Street London EC4V 4BJ	Installation of 2no. digital 75" LCD display screens, one on each side of the Street Hub unit.	Refused 24.05.2022	BT Telecommuni cations Plc
21/01075/FULL Bread Street	Cheapside Traffic Island Cheapside London EC2V 6AA	Proposed installation of 1no. new BT Street Hub, incorporating 75" LCD advert screens plus the removal of associated BT kiosk(s).	Refused 24.05.2022	BT Telecommuni cations Plc
21/01076/ADVT Bread Street	Cheapside Traffic Island Cheapside London EC2V 6AA	Installation and display of 2no. digital 75" LCD screens, one on each side of the Street Hub unit.	Refused 24.05.2022	BT Telecommuni cations Plc
22/00101/LBC Candlewick	5 King William Street London EC4N 7DA	To partially remove a metal stud partition wall, extending an existing open plan office area into a space currently used as a lobby. A new leaf and a half door will be fitted into a new metal stud partition wall between two columns near the upper landing of the left hand side crescent staircase that leads from the ground floor reception to the mezzanine level. This new wall will be set back from the existing ceiling moulding. A new small lobby will be created by a proposed metal stud partition wall constructed between a column and the existing partition lobby wall on the right hand side of the crescent staircase. The relocation of an existing access controlled door will facilitate a new access point from the resized lobby into a client meeting room.	Approved 10.05.2022	Mr Peter Woods

21/00837/FULL Candlewick	Yarnwicke Building 119 - 121 Cannon Street London EC4N 5AT	Formation of roof terrace, including the installation of a roof deck; new toilet facilities; new plant equipment and relocated plant equipment and associated enclosures; balustrades; access enclosures; replacement doors; and other associated works.	Approved 12.05.2022	UK Properties Specialist Ltd
21/01025/LBC Candlewick	Yarnwicke Building 119 - 121 Cannon Street London EC4N 5AT	Formation of roof terrace, including the installation of decking; new toilet facilities; relocated plant equipment and associated enclosure; balustrades; access enclosures; replacement doors; and other associated works.	Approved 12.05.2022	UK Properties Specialist Ltd
22/00077/MDC Castle Baynard	65 Fleet Street London EC4Y 1HT	Submission of details for a Construction Logistics Plan pursuant to Condition 3 of planning permission ref. 19/00058/FULMAJ dated 06/04/2020.	Approved 19.05.2022	Whitefriars Limited
22/00078/MDC Castle Baynard	65 Fleet Street London EC4Y 1HT	Submission of details of a Deconstruction Logistics Plan pursuant to Condition 2 of planning permission ref. 19/00058/FULMAJ dated 06/04/2020.	Approved 19.05.2022	Whitefriars Limited
21/01054/FULL Castle Baynard	Pavement O/S 6 New Bridge Street London EC4V 6AB	Proposed installation of 1no. new BT Street Hub, incorporating 75" LCD advert screens plus the removal of associated BT kiosk(s).	Refused 24.05.2022	BT Telecommunications Plc
21/01055/ADVT Castle Baynard	Pavement O/s 6 New Bridge Street London EC4V 6AB	Installation of 2no. digital 75" LCD display screens, one on each side of the Street Hub unit.	Refused 24.05.2022	BT Telecommunications Plc
21/00177/MDC Cheap	Dauntsey House 4A & 4B Frederick's Place London EC2R 8AB	Submission of a Lighting Report and Plans pursuant to condition 19 of planning permission dated 14/05/2020 (app. no. 17/01057/FULMAJ).	Approved 24.05.2022	The Mercers' Company

22/00122/FULL Cheap	Cheapside House 138 Cheapside London EC2V 6BJ	Installation of external plant to the north elevation at Cheapside House	Approved 19.05.2022	Greensleeves Homes Trust
21/01058/FULL Coleman Street	Pavement O/S 120 Moorgate London EC2M 6UR	Proposed installation of 1no. new BT Street Hub, incorporating 75" LCD advert screens plus the removal of associated BT kiosk(s).	Refused 24.05.2022	BT Telecommunications Plc
21/01059/ADVT Coleman Street	Pavement O/S 120 Moorgate London EC2M 6UR	Installation and display of 2no. digital 75" LCD screens, one on each side of the Street Hub unit.	Refused 24.05.2022	BT Telecommunications Plc
21/01083/FULL Cordwainer	Pavement O/S 60 Queen Victoria Street London EC4N 4TZ	Proposed installation of 1no. new BT Street Hub, incorporating 75" LCD advert screens plus the removal of associated BT kiosk(s).	Refused 24.05.2022	BT Telecommunications Plc
21/01084/ADVT Cordwainer	Pavement O/S 60 Queen Victoria Street London EC4N 4TZ	Installation and display of 2no. digital 75" LCD screens, one on each side of the Street Hub unit.	Refused 24.05.2022	BT Telecommunications Plc
22/00081/MDC Cornhill	1/2 And 1/4 Royal Exchange London EC3V 3LL	Submission of details for plant, ductwork and fixings pursuant to Condition 3 of Listed Building Consent ref. 21/00350/LBC dated 11/11/2021.	Approved 10.05.2022	Incipio Group Limited
22/00088/MDC Cornhill	Units 1/2 And 1/4 Royal Exchange London EC3V 3LL	Submission of details for plant, ductwork and for fixings pursuant to Condition 4 of Planning Permission ref. 21/00349/FULL dated 11/11/2021.	Approved 10.05.2022	Incipio Group Limited

22/00110/LBC Cornhill	9 Royal Exchange London EC3V 3LL	Internal works for the refurbishment of the shop unit at basement, ground and first floor levels.	Approved 05.05.2022	Red Eight Gallery
22/00165/MDC Cornhill	1/2 And 1/4 Royal Exchange London EC3V 3LL	Submission of Construction Management Plan pursuant to Condition 2 of Planning Permission ref. 21/00349/FULL dated 11/11/2021.	Approved 06.05.2022	Incipio Group Limited
21/00986/MDC Cripplegate	Former Richard Cloudesley School Golden Lane Estate London EC1Y 0TZ	Submission of School Hall Community Access and Management Plan pursuant to condition 64 of planning permission 17/00770/FULL dated 19th July 2018.	Approved 12.05.2022	ISg
22/00177/FULL Cripplegate	Cromwell Tower Barbican London EC2Y 8DD	Change of use of ground and podium level void space to a single residential dwelling unit (Use Class C3) (100sqm) with associated internal alterations, replacement of external glazing and alterations to the Silk Street and Podium level elevations.	Approved 17.05.2022	Mr Christian Keesing
22/00223/LBC Cripplegate	Cromwell Tower Barbican London EC2Y 8DD	Internal alterations, replacement of external glazing and alterations to the Silk Street and Podium level elevations.	Approved 17.05.2022	Mr Christian Keesing
22/00220/LBC Cripplegate	220 Ben Jonson House Barbican London EC2Y 8DL	Internal refurbishments including a new kitchen and bathroom, removal and construction of a small nib wall to create space for a new cabinet in the bedroom.	Approved 19.05.2022	MR Shawn Andrew Mach



20/00593/MDC Farringdon Within	Creed Court 3 - 5 Ludgate Hill, 1 - 3 Creed Lane And 11 - 12 Ludgate Square London EC4M 7AA	Submission of details (green roof) reserved by condition 15 of planning permission 17/01207/FULMAJ dated 13 February 2019.	Approved 17.05.2022	Dominvs Investments 1 Ltd
21/00368/MDC Farringdon Within	Stonecutter Court 1 Stonecutter Street London EC4A 4TR	Submission of Pedestrian Level Wind Desk-Based Assessment and Wind Memorandum pursuant to condition 10 of planning permission dated 28th March 2019 (18/00878/FULMAJ).	Approved 12.05.2022	The Stonecutter Court Unit Trust
21/01041/NMA Farringdon Within	11 Pilgrim Street London EC4V 6RN	Non-material amendment under Section 96A of the Town and Country Planning Act 1990 (as amended) to planning permission dated 29/07/2021 (app. no. 20/00870/FULL) to amend condition 28 (approved plans) to allow for the infill of the internal atrium.	Approved 24.05.2022	Pilgrim Street London Real Estate SARL
21/01125/FULL Farringdon Within	Aldersgate House 135 - 137 Aldersgate Street London EC1A 4JA	Proposed roof extension to provide an enlarged plant enclosure to conceal 9 new condensers.	Approved 19.05.2022	Universal Consolidated Group
22/00064/LDC Farringdon Within	16 Old Bailey London EC4M 7EG	Details of bird deterrent measures pursuant to condition 2(a) (in part) of listed building consent 18/00154/LBC dated 24 April 2018.	Approved 10.05.2022	IPG Mediabrand
22/00065/MDC Farringdon Within	16 Old Bailey London EC4M 7EG	Details of bird deterrent measures pursuant to condition 6(a) and (b) (in part) of planning permission reference 18/00137/FULL dated 08 October 2018.	Approved 10.05.2022	IPG Mediabrand

22/00068/MDC Farringdon Within	11 Pilgrim Street London EC4V 6RN	Submission of a construction environmental management plan pursuant to conditions 2 and 3 (in part) of planning permission dated 29/07/2021 (app. no. 20/00870/FULL).	Approved 24.05.2022	Pilgrim Street London Real Estate SARL
22/00171/MDC Farringdon Within	Stationers Hall Stationers Hall Court London EC4M 7DD	Submission of details for parts (b), (d), (e), (f) pursuant to Condition 2 of planning permission ref. 19/00521/FULL approved on 17/10/2019 for details for: new door (Court Room Door) at ground floor; new door to ground floor Great Hall; new dormer window on north elevation; reinstatement of paving in Courtyard; York Stone infill to gully adjacent to the Great Hall; the ramp from Stationers Hall Court; and roof finish for the external terrace.	Approved 05.05.2022	Worshipful Company of Stationers And Newspaper Makers
22/00192/FULL Farringdon Within	15 Old Bailey London EC4M 7EF	Installation of external lighting to Holborn Viaduct, Old Bailey & Green Arbour Court elevations of 15 Old Bailey.	Approved 17.05.2022	Mr Alex Shamash
22/00233/LBC Farringdon Within	15 Old Bailey London EC4M 7EF	Installation of external lighting to Holborn Viaduct, Old Bailey & Green Arbour Court elevations of 15 Old Bailey.	Approved 17.05.2022	Mr Alex Shamash
21/01077/FULL Farringdon Within	Pavement O/s 20 Holborn Viaduct London EC1A 2AT	Proposed installation of 1no. new BT Street Hub, incorporating 75" LCD advert screens plus the removal of associated BT kiosk(s).	Refused 24.05.2022	BT Telecommunications Plc
21/01078/ADVT Farringdon Within	Pavement O/s 20 Holborn Viaduct London EC1A 2AT	Installation of 2no. digital 75" LCD display screens, one on each side of the Street Hub unit.	Refused 24.05.2022	BT Telecommunications Plc

21/01030/MDC Farringdon Without	Chancery House 53 - 64 Chancery Lane London WC2A 1QS	Submission of details of the roof-top plant enclosure screen pursuant to 4 of 20/00910/FULL dated 8th June 2021.	Approved 24.05.2022	Chancery House London
22/00040/MDC Farringdon Without	100 Fetter Lane London EC4A 1ES	Submission of details of a hostile vehicle mitigation plan pursuant to condition 16 of planning permission dated 29/09/2021 (app. no. 21/00454/FULMAJ).	Approved 12.05.2022	BREO Hundred Ltd
22/00061/MDC Farringdon Without	100 And 108 Fetter Lane London EC4A 1ES	Submission of details of a Rainwater Drainage (SuDS) Strategy pursuant to condition 14 of planning permission dated 29/09/2022 (app. no. 21/00454/FULMAJ).	Approved 10.05.2022	BREO Hundred Ltd
22/00073/MDC Farringdon Without	100 Fetter Lane London EC4A 1ES	Submission of details of wind mitigation measures pursuant to condition 15 of planning permission dated 29/09/2022 (app. no. 21/00454/FULMAJ).	Approved 10.05.2022	BREO Hundred Ltd
22/00079/NMA Farringdon Without	100 Fetter Lane London EC4A 1ES	Non-material amendment under S96A of the Town and Country Planning Act 1990 (as amended) to amend condition 45 (approved plans) of planning permission dated 29/09/2021 (app. no. 21/00454/FULMAJ) to allow for alterations to typical bays, spandrel heights, parapet levels, Mac's place elevation, ground floor entrance, level 12 facade, balustrade details, BMU, terrace layout design, and terrace doors; and alterations to internal layout comprising the expansion of the public house use, cycle store layout, shower facilities, and refuse store layout and access.	Approved 24.05.2022	BREO Hundred Ltd

22/00257/MDC Farringdon Without	100 Fetter Lane London EC4A 1ES	Submission of particulars and samples of the materials to be used on all external faces of the building including external ground and upper-level surfaces pursuant to condition 22 (a) (in part) of planning permission dated 29th September 2021 (21/00454/FULMAJ).	Approved 12.05.2022	BREO Hundred Ltd
22/00246/TCA Farringdon Without	Kings College Maughan Library Chancery Lane London WC2A 1LR	Works of pruning to: 1x Prunus subhirtella (Winter Cherry); 1x Betula utilis (Himalayan Birch); 1x Betula pendula (Silver Birch); 1x Prunus avium (Wild Cherry); and 1x Fig Tree (Ficus carica).	No objections to tree works - TCA 19.05.2022	Kings College London
21/01056/FULL Farringdon Without	Pavement O/S 320 High Holborn London WC1V 7PU	Proposed installation of 1no. new BT Street Hub, incorporating 75" LCD advert screens plus the removal of associated BT kiosk(s).	Refused 24.05.2022	BT Telecommuni cations Plc
21/01057/ADVT Farringdon Without	Pavement O/S 320 High Holborn London WC1V 7PU	Installation and display of 2no. digital 75" LCD screens, one on each side of the Street Hub unit.	Refused 24.05.2022	BT Telecommuni cations Plc
22/00182/TCA Lime Street	St Helen's Bishopsgate Great St Helen's London EC3A 6AT	Works of pruning to two London Plane trees.	No objections to tree works - TCA 19.05.2022	St Helen's Church
21/01060/FULL Portsoken	Pavement O/S Aldgate House 33 Aldgate High Street London EC3N 1AH	Proposed installation of 1no. new BT Street Hub, incorporating 75" LCD advert screens plus the removal of associated BT kiosk(s).	Refused 24.05.2022	BT Telecommuni cations Plc

20/00904/MDC Queenhithe	Ocean House, Fur Trade House, Queensbridge House 10 Little Trinity Lane London EC4	Submission of report to demonstrate that (i) the level of noise emitted from any new plant shall be lower than the existing background level by at least 10 dBA. (ii) Before any new plant is used on the premises it shall be mounted in a way which will minimise transmission of structure borne sound pursuant to conditions 13 and 16 of planning permission 11/00572/FULLMAJ dated 20/03/2012.	Approved 24.05.2022	Pinboard Limited
21/01062/FULL Tower	Pavement O/s 19 - 21 Great Tower Street London EC3R 5AR	Proposed installation of 1no. new BT Street Hub, incorporating 75" LCD advert screens plus the removal of associated BT kiosk(s).	Refused 24.05.2022	BT Telecommunications Plc
21/01063/ADVT Tower	Pavement O/s 19 - 21 Great Tower Street London EC3R 5AR	Installation of 2no. digital 75" LCD display screens, one on each side of the Street Hub unit.	Refused 24.05.2022	BT Telecommunications Plc
21/00327/FULL Vintry	Warwick House 65 - 66 Queen Street London EC4R 1EB	Change of use of part ground floor and part lower ground floor from retail (Class E) to a drinking establishment with expanded food provision (Sui generis).	Approved 12.05.2022	Dalton

21/00873/FULL Vintry	95 Queen Victoria Street London EC4V 4HN	External alterations to the existing office building to include: alterations to the reception fronting Queen Victoria Street; replacement of decorative spandrel panel fronting Queen Victoria Street at ground level; replacement of glazed facade at fourth floor facing Queen Victoria Street; introduction of dedicated cycle access door fronting Lambeth Hill; alterations to form inset corner balconies at north east of building at first to third floor; alterations to plant enclosure layout at roof level; and, alterations to create a roof terrace.	Approved 12.05.2022	Quintes Services S.a.r.L
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