

Appendix 2 – draft policies on Tall Buildings and Protected Views

Core Strategic Policy CS XX: Tall Buildings

1. Tall buildings within the City of London are defined as buildings over 75m above Ordnance Datum (AOD) in height.
2. Tall buildings of world class architecture and sustainable and accessible design will be permitted on suitable sites, having regard to:
 - a. the potential effect on the City skyline, the wider London skyline and historic skyline features;
 - b. the character and amenity of their surroundings, including the relationship with existing tall buildings;
 - c. the significance of heritage assets and their settings;
 - d. the provision of a high quality public realm at street level; and
 - e. the environmental impact the tall building may have on the surrounding area, including the capacity of the City's streets and spaces to accommodate the development.
3. Where tall buildings are acceptable in principle, their design must ensure safe and comfortable levels of wind, daylight and sunlight, solar glare and solar convergence within nearby buildings and the public realm within the vicinity of the building. Consideration should be given to how the design of tall buildings can assist with the dispersal of air pollutants.
4. New tall buildings should provide for permeability at street level and incorporate areas or facilities at upper levels which are accessible to the public and available at no charge.
5. Tall buildings must not adversely affect the operation of London's airports, nor exceed the Civil Aviation Authority's maximum height limitation for tall buildings in central London of 309.6m AOD.
6. New tall buildings will be refused in inappropriate areas, comprising conservation areas; the St Paul's Heights area; St Paul's protected vista viewing corridors; and Monument views and setting, as defined on the Policies Map.

Reason for the policy

The City contains many tall buildings, which help to enhance its environment and economy and contribute to London's world city role. While tall buildings are a characteristic and iconic element of the City's skyline, they must not adversely impact on the City's unique environment or built heritage. Areas outside of the City

may also be sensitive to the development of tall buildings within the City. The location and impact of future tall buildings therefore needs to be carefully considered.

Tall buildings are defined as those exceeding 75m AOD in height. Figure XX shows the current distribution of buildings exceeding 75m AOD in height in the City. The City Corporation is required to refer applications to the Mayor for buildings that exceed 25m above ground height in the Thames Policy Area. The intention of this lower threshold is to preserve the open aspect of the river and the riverside public realm.

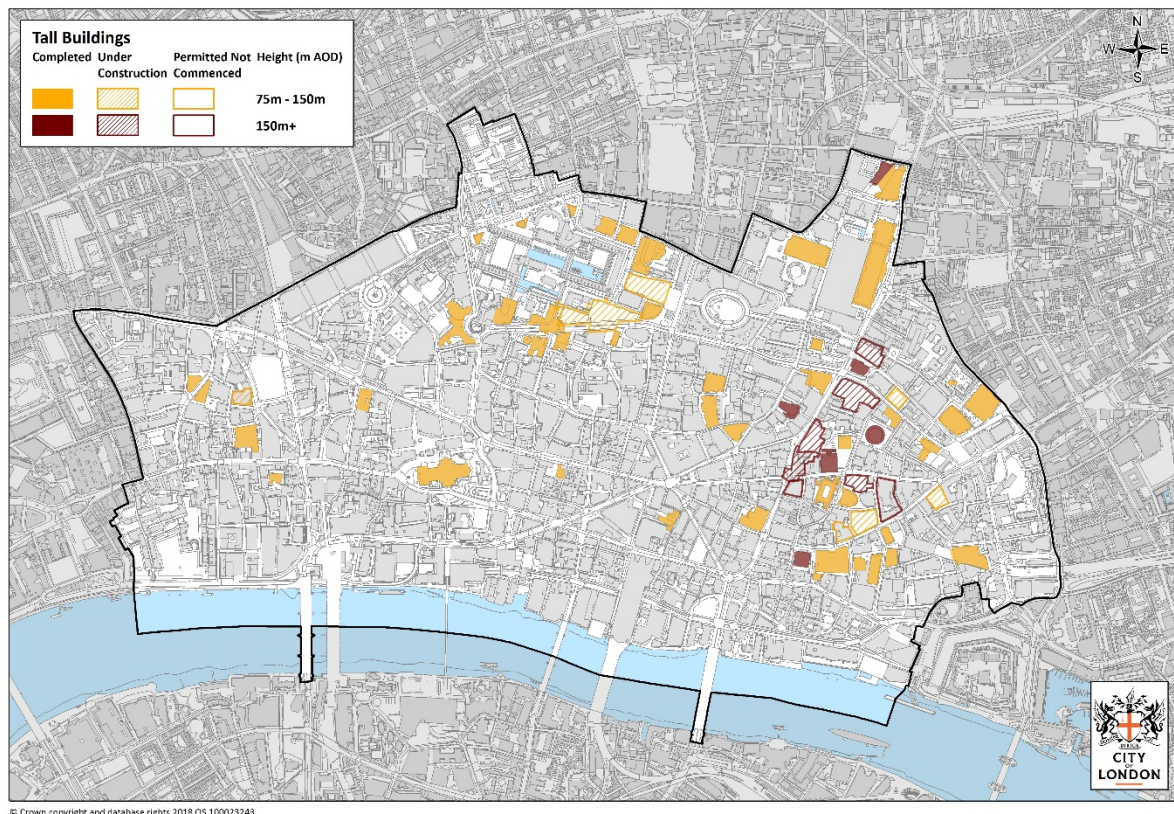


Figure XX: Tall buildings distribution in the City of London March 2017

Guidance issued by the Design Council/CABE and Historic England encourages local planning authorities to consider the scope for tall buildings as part of strategic planning and to identify locations where they are, or are not, appropriate. The draft London Plan indicates that areas should be identified where new tall buildings will be an appropriate form of development in principle.

The Eastern City Cluster represents the most appropriate area for tall buildings in the City, but this does not mean that every site within the cluster is suitable. Any new tall building proposal must meet the criteria set out in the policy to enhance the City's skyline, while minimising the impact on the surrounding area. Policy XX (Eastern City Cluster) provides more details about the considerations that apply to new tall building proposals in that area.

Outside of the Eastern City Cluster, there is limited scope for new tall buildings due principally to conservation area and views protection considerations. Figure XX

identifies those areas of the City that are considered inappropriate for new tall buildings due to these policies.

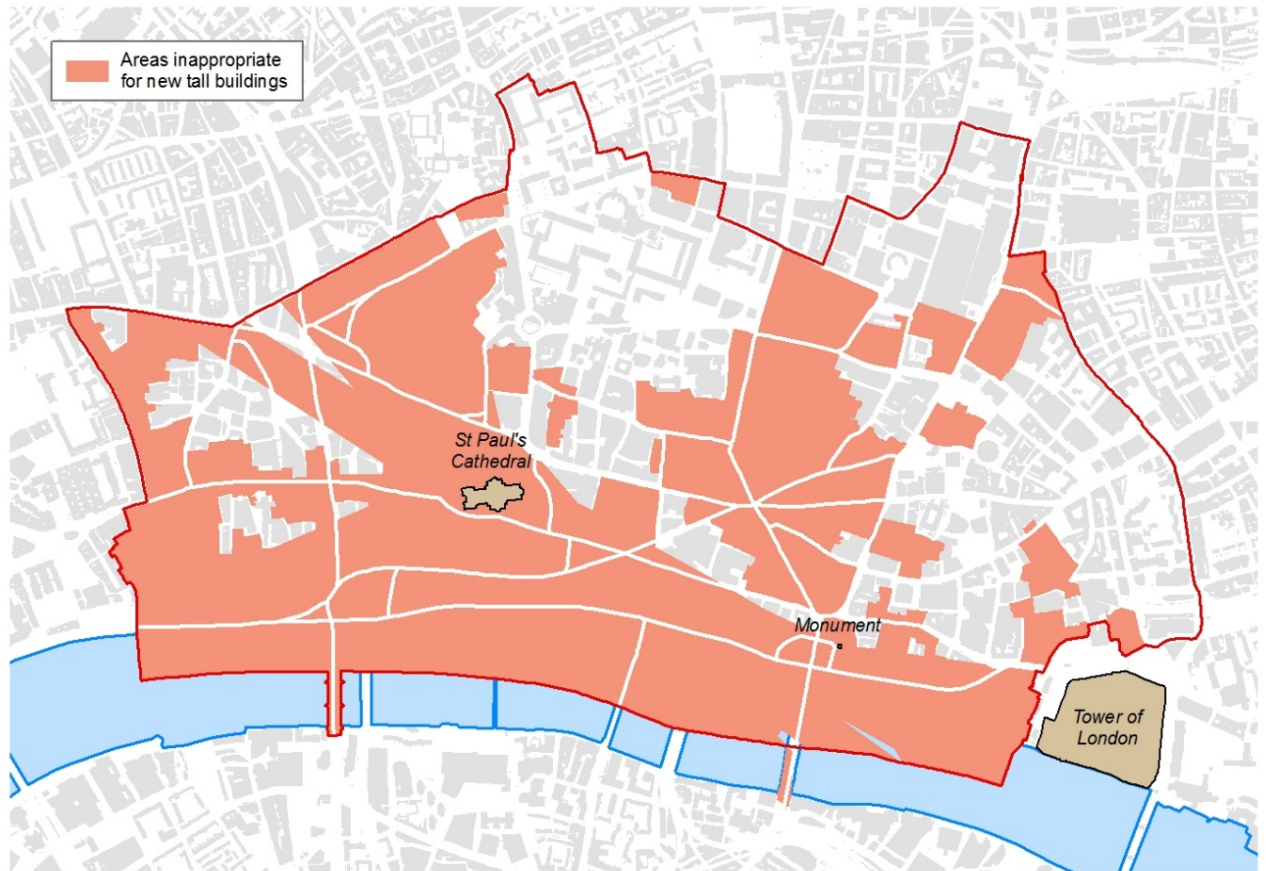


Figure XX: Areas inappropriate for new tall buildings

How the policy works

Tall buildings are high-profile developments, visible on the skyline across large parts of London. They represent the City's built environment to a wide audience and should be designed to enhance the City's skyline.

Tall building proposals must comply with the Civil Aviation Authority's (CAA's) aviation safeguarding policy for central London, which sets a maximum height limitation of 309.6m (1,016 ft) AOD. Developers should undertake early liaison with the CAA regarding building heights and the height of cranes or other equipment to be used during construction.

The development of tall buildings must take account of the policies elsewhere in this plan and City Corporation guidelines in Planning Advice Notes on the potential microclimate impacts from development at an early stage in the design process. Planning Advice Notes set out requirements for assessing the impacts of tall buildings on solar glare, solar convergence, sunlight and wind explaining how they should be considered as part of the design process.

Proposals for new tall buildings should take account of the cumulative impact of the proposed, permitted and existing tall buildings. The City Corporation will also require

proposals to maintain and enhance the provision of public open space around the building, avoid the creation of building canyons, maintain and enhance pedestrian permeability and deliver consolidation of servicing and deliveries to reduce potential vehicle movements.

Tall buildings must provide for the amenity of occupiers, visitors to the building and the wider public. Tall buildings should contain permeable ground floors which provide an active frontage, such as retail facilities. At upper levels, accessible public space which is available at no charge should be provided, including features such as public viewing galleries or educational facilities.

Core Strategic Policy CS XX: Protected Views

The City Corporation will protect and enhance significant City and strategic London views of important buildings, townscape and skylines by:

- Implementing the Mayor of London's London View Management Framework SPG to manage designated views of strategically important landmarks (St. Paul's Cathedral and the Tower of London), river prospects, townscape views and linear views.
- Protecting and enhancing: significant local views of St. Paul's Cathedral, through the City Corporation's "St. Paul's Heights" code and local views from Fleet Street; the setting and backdrop to the Cathedral; significant local views of and from the Monument and views of historic City landmarks and skyline features.
- Securing an appropriate setting of and backdrop to the Tower of London World Heritage Site, ensuring its Outstanding Universal Value and taking account of the Tower of London World Heritage Site Management Plan (2016).

Reason for the policy

The City and its surrounding area contain many famous landmarks that are visible from viewpoints across London. Views of the City's skyline from the River Thames are especially notable and certain local views of St. Paul's Cathedral have been protected successfully by the City Corporation's 'St. Paul's Heights' code since the 1930s. The London Plan sets out the overall view protection requirements which apply to Strategically Important Landmarks. Landmarks such as St. Paul's Cathedral, the Monument and the Tower of London are internationally renowned and add to the City's world class status.

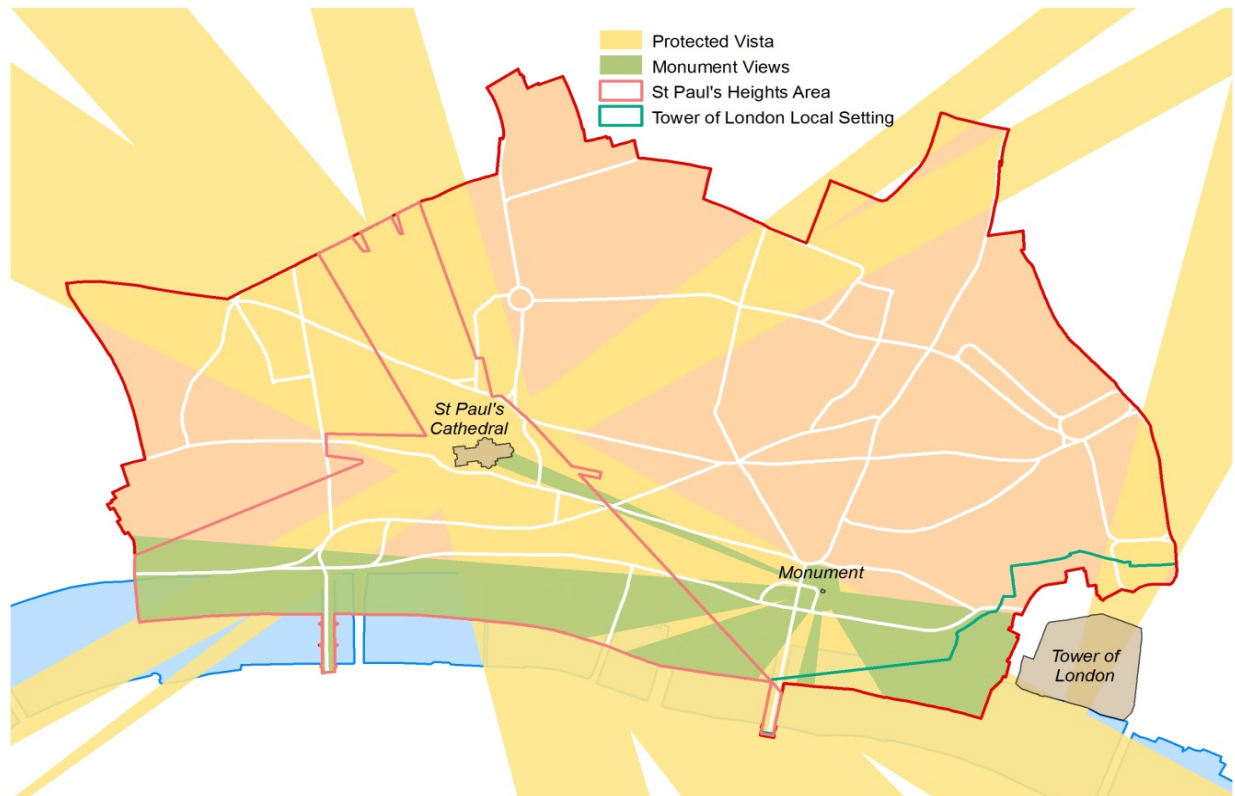


Figure XX: Areas covered by protected views

How the policy works

Protected Vistas are defined geometrically from an assessment point at the view location to the Strategically Important Landmark that is the focus of the protected vista. Each Protected Vista includes a Landmark Viewing Corridor, within which development should not exceed the height of the threshold plane. Beside and behind Landmark Viewing Corridor are the Wider Setting Consultation Areas, within which development that exceeds the threshold plane should not compromise the viewer's ability to recognise and appreciate the Strategically Important Landmark.

Other designated strategic views have defined assessment points but are protected by qualitative assessment of the impact of a proposal on the important elements of the view. For the City, most of the relevant views are 'River Prospects' from Thames bridges and the riverside walk. The Mayor of London's London View Management Framework (LVMF) SPG (2012) provides more detail, including detailed management plans for each strategic view of landmarks such as St. Paul's Cathedral and the Tower of London.

The LVMF defines a Protected Vista for the Tower of London. Any development in the Wider Setting Consultation Area in the background of this Protected Vista should preserve or enhance the viewer's ability to recognise the landmark and appreciate its Outstanding Universal Value. City sites have the potential to be intrusive in the view because of their relative proximity to the Tower. Therefore, it is likely that proposed new development in the City which exceeds the threshold plane will not be

acceptable as it will not preserve this view. The City Corporation's Protected Views SPD provides further details and guidance on the protected views within the City.

The Tower of London has additional view protection, implemented through the Tower of London World Heritage Site Management Plan (2016). This defines and protects a range of settings of the Tower World Heritage Site, which includes its relationship to historic features that are visible in the urban landscape. All new buildings in the setting of the Tower should contribute to the quality of views both of and from the Tower.

The City Corporation will protect local views of St Paul's Cathedral when approaching along Fleet Street which forms part of the processional route between Westminster and the City. The views of St Paul's change along the length of Fleet Street, depending on the topography and alignment of buildings. Development proposals visible from agreed assessment points should ensure that they do not impinge on the ability of the viewer to recognise and appreciate the dome of St Paul's Cathedral, and that they maintain the current clear sky background profile of the dome. Further details will be set out in a forthcoming update to the Protected Views SPD.

New development proposals should form attractive features in their own right. Their bulk and form should not be based solely on the parameters set by the requirements and consideration of the protected views. In determining planning applications for tall buildings, the City Corporation will take account of guidance from the Design Council/CABE and Historic England.

The City Corporation will co-operate with the Mayor, London boroughs and other local planning authorities, where proposed development outside of the City impacts on strategically important views of St Paul's Cathedral, to ensure that development does not adversely impact on the view.